

**REPORT ON**  
**DRAFT** PAJARO DUNES GEOHAZARD ABATEMENT DISTRICT  
(PDGHAD) ENGINEERS REPORT ISSUE NO 04  
SANTA CRUZ COUNTY, CALIFORNIA

by  
Haley & Aldrich, Inc.  
San Jose, California

for  
PAJARO DUNES GEOHAZARD ABATEMENT DISTRICT  
Santa Cruz County, California

File No. 0207516-000  
March 2024





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29 March 2024  
File No. 0207516-000

PAJARO DUNES GEOHAZARD ABATEMENT DISTRICT  
2661 West Beach Road  
Santa Cruz County, California 95076

Attention: Sarah Mansergh

Subject: DRAFT PDGHAD Engineers Report Issue No 04  
Pajaro Dunes  
Santa Cruz County, California

Ladies and Gentlemen:

The undersigned submits this Engineer's Report as directed by the Board of the Pajaro Dunes Geologic Hazard Abatement District (PDGHAD) pursuant to Section 54703 et seq. of the California Government Code. This report provides updated assessment amounts that will be the subject of a 2024/2025 assessment election. The assessment comprises one component/project: A "Rock Revetment Return to Original Condition" Expense Reserve to establish a source of funding to return the existing rock revetment to its original design geometry. The work items will include the following:

- Removal of rock material temporarily added to State Park Lands during the early 2000s,
- Removal of rock material temporarily added to Pajaro Dunes property during the early 2000s and
- Restacking of existing revetment rock material.

Maintaining the original design of the revetment is an activity required under the PDGHAD "Operation and Maintenance Manual." The work or project is considered part of the repair and maintenance of the revetment and is referred to within this report as "Rock Revetment Return to Original Condition".

The project costs, which are the subject of this report, are briefly described in Section 1. This Report includes five parts, as follows:

1. Description of the return to original condition project costs.
2. An estimate of the cost for work on the rock revetment.
3. An assessment of the estimated cost to repair and maintain the rock revetment for each benefited parcel of land within the assessment district.

4. A statement of the previously applied and utilized method by which the amount is proposed to be assessed against each parcel.
5. Rock Revetment Maintenance Plans- showing all of the parcels of real property directly impacted by the proposed work and within this assessment district.
6. Costs and work outlined in this report DO NOT include ongoing maintenance, annual inspections, or other activities outside the specific project described herein.

This detailed Engineer's Report was prepared under Article XIII D of the California Constitution by Dan Peluso, a Senior Principal Engineer at Haley & Aldrich, Inc. (Haley & Aldrich), a registered professional engineer licensed by the State of California.

Signature and Stamp pending finalization-which will not occur until this document is voted on and approved by the PDGHAD

Sincerely yours,  
**HALEY & ALDRICH, INC.**

Dan Peluso, P.E., G.E.  
Senior Principal Engineer

Enclosures

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# 1. Description of Pajaro Dunes Rock Revetment Return to Original Conditions Project Expenses

The content of this Section of the Engineer's Report and all following sections is being submitted pursuant to Article XIII D, Section 4 of the California Constitution.

A description of the improvement to be maintained or repaired with monies to be deposited in a "Rock Revetment Return to Original Condition Cost/Expenses and Reserve Fund" related to improvements in District Zone 1 (the District) is described in this section. The cost estimation presented in this report addresses the costs necessary to maintain and repair the rock revetment seawall (Zone 1) located at the Pajaro Dunes community in Watsonville, California, due to Santa Cruz County (the County) and State Park requirement for the District to remove rock placed during the 2002-2004 emergency storm response and to maintain the rock revetment design conditions.

The improvements addressed in this report are for the approximately 6,000-foot-long rock revetment on the ocean side of the development, comprised of approximately 110,000 tons of riprap, that was installed between 1986 and 1988. The rock revetment is located in PDGHAD Zone 1. The rock revetment has been partially damaged by several storm events by coastal erosion during relatively severe winter storms such as those that occurred from 2002 to 2004. Following each damaging storm event, emergency repairs were implemented by placing riprap in selected areas along the revetment.

Funds in the aforesaid Rock Revetment Maintenance and Repair Reserve Fund will not be used for maintenance or repair of the other major improvement in the District, the steel sheet pile river wall approximately 715 feet long constructed along the Pajaro River adjacent to the Pelican Point condominiums. The river wall is located in PDGHAD Zone 2, and is not addressed within this report.

District expenses include costs for permits, pre- and post-construction condition and biologic surveys, contracted removal of early 2000s rock and restacking, construction management, stair repairs, and construction costs associated with standards of practice, professional services (such as those necessary for the District accountant, clerk, and legal counsel), assessment calculations, District elections, board and District public outreach in support of the improvements referenced below.

## 1.1 SITE DESCRIPTION

### 1.1.1 Pajaro Dunes Development

The Pajaro Dunes community comprises private single-family residences, including detached residences and groups of townhouses and condominiums. These buildings were constructed along a narrow strip of land bounded by the Pacific Ocean on the southwest, the Pajaro River on the southeast, and Watsonville Slough on the northeast. Development of the community began in the late 1960s.

### 1.1.2 Existing Revetment Configuration

Following several episodes of severe coastal erosion in the 1970s and 1980s, approximately 6,000 feet of rock revetment was constructed in three segments between 1986 and 1988 along the ocean side of the development. In addition, a steel sheet pile wall approximately 715 feet long was constructed along

the inland Pajaro River side of the development in 2003. This steel sheet pile wall is called the “river wall.”

The 6,000-foot-long rock revetment is comprised of approximately 110,000 tons of rock slope protection (RSP). In general, the rocks vary between 1 foot and 3 feet as measured in their longest dimension. The average rock is estimated to weigh about 8 tons.

The top of the revetment varies in elevation from 19.5 to 22.0 feet above mean sea level, and the base of the revetment is at elevation -2.0 feet mean sea level (NGVD 29); this is at approximate elevation +0.7 feet (NAVD 88). The revetment face is sloped between 1.5H:1V (horizontal: vertical) and 2.0H:1V. The toe of the rock revetment was constructed adjacent to the property line, separating the Pajaro Dunes development from the State of California Park Lands.

Pedestrian access from Pajaro Dunes properties to the beach within the limits of the project is provided by four timber boardwalks constructed in common areas between lots 4 and 5, 10 and 11, 93 and 94, and 98 and 99. The boardwalks lead to timber stairs that descend over the rock slope protection revetment to the beach below.

### **1.1.3 Existing Revetment Damage**

The rock revetment has been repeatedly damaged by coastal erosion, occurring during relatively severe winter storms since its original construction at least two times: in 2002/2003 and in 2004. A 400-foot-wide section of the revetment was affected in the vicinity of Lots 98 through 104, and a 135-foot-wide section was affected in the vicinity of Lots 15, 54, and 55. During the 2004 storm event, much of the beach became severely eroded, the toe of the revetment became exposed, and portions of the revetment were undermined along these sections.

Following each damaging storm event, emergency repairs were implemented by placing rock slope protection (RSP) in selected areas along the revetment. The repaired area in 2003 measured a total length of approximately 420 feet of revetment using approximately 675 tons of RSP. The repaired area in 2004 measured a total length of approximately 55 feet of revetment using approximately 185 tons of RSP.

The California State Parks Department gave permission to the Pajaro Dunes GHAD to temporarily place rock slope protection on State Parks' property fronting lots 98 to 103 with the understanding that the rocks would be removed as part of a future permanent repair. One of the objectives of this project is to remove the encroaching rock slope protection and utilize it in the revetment repair.

## **1.2 PROJECT DESCRIPTION**

This project will focus on repairing damage to a nearly 1,900-foot-long segment of rock revetment along the western property boundary of lots 1 to 12, lots 94 to 103, and lot 107, as well as removing rocks encroaching on State property fronting lots 98 to 103. The rock revetment is located in and protects all properties in the District, designated as Zone 1. The Pajaro Dunes development and the approximate location of the proposed repair area are shown in Sheet 2, Site Plan (Appendix A).

The repair will be focused on returning the rock revetment to the original design configuration to reduce the potential for movement resulting from settlement and instability caused by coastal erosion undermining the revetment during large storm events.

## 2. Cost Estimate

An estimate of the costs to return the rock revetment to its original condition is described in this section. An assessment election is being conducted to establish a Rock Revetment Return to Original Condition Reserve Fund at the Pajaro Dunes development.

Rock Revetment Return to Original Condition -Construction will consist of the following items:

- Permitting and County/State requirement adherence (Biological studies and monitoring);
- LiDAR and detailed observation documentation, pre- and post-construction surveying of the nine homes with High Proximity to the work zone, planned directly within the PDGHAD right of way;
- Detailed observation documentation, Pre- and post-construction surveying of the 19 parcels within the planned work zone and directly within the PDGHAD right of way;
- Removal and replacement of up to seven timber boardwalks and stairs that pose an impediment to construction activities;
- Removal and stockpiling of existing rocks placed on the State Beach property as part of a previous emergency repair effort during 2003 and 2004 storm events, currently concealed beneath beach sand, for subsequent project repair use.; and
- The stockpiled rocks and out-of-place rocks on the existing revetment will be placed on top of the existing rock revetment in over-steepened areas to restore the pre-construction top-surface configuration (gradient) of the revetment. Stacked revetment rocks shall be placed in a way that attains three-point bearing contact with the underlying rocks.

The amount of the Reserve Fund is based on estimates of costs provided by Haley & Aldrich, the District's consulting engineer, and the engineer of record for this project. Costs associated with unknown variables (e.g., biological mitigation measures, inclement weather, and high tides.) may occur. As such, an additional 15% of the estimated cost has been added to the total cost presented here to allow the ability to respond to these conditions and continue with planned work.

Table 1 presents the maximum assessment for Zone 1 and a breakdown of the project cost required to complete the project. The costs assume three to six months of permitting and preparation, with fieldwork carried out over a three-month period in late 2024 or 2025.

It is understood that the PDGHAD will acquire the total budget through a loan secured by the proposed assessment, and the assessment value will then be applied to all of the properties in Zone 1 based on the PDGHAD fixed percentage assignment (see subsequent sections of the report). The assessment payments will include the cost of a loan of \$2,300,000, with a 9% annual interest rate. Payment of the total loan amount will be spread out over 10 years.

It is worth noting that The Rock Revetment Return to Original Condition Expense Reserve Fund is capped at \$3,526,300.00. The District may only collect a maximum of \$3,526,300.00 over the established 10-year assessment period. The Fund will also be kept in a separate account from other District funds.

**Table 1. Maximum Assessment Rock Revetment- Return to Original Conditions and Proposed Fiscal Years  
2024/2025 Assessment Levy**

Item No.	Estimated Cost	Description	Cost Criteria / Basis
1	\$ 1,029,898	<b>Construction</b>	<p>Cost estimate for completion of rock removal work provided by District and only includes the following:</p> <ul style="list-style-type: none"> <li>- Provide a shoring plan by a licensed engineer prior to commencing work</li> <li>- Excavate existing rock and move as shown on plans.</li> <li>- After all rock is placed, contractor will backfill all voids with sand.</li> <li>- No import of rock or sand is included. The price assumes both rock and sand are on site for our use.</li> <li>- Traffic control for contractor's work (limited to flagman and signage) when mobilizing and demobilizing equipment.</li> <li>- All items of work to be performed based on one mobilization</li> <li>- Notify underground service alert</li> <li>- Permits will be by the owner</li> <li>- Dust control, including water based on using onsite source</li> </ul>
2	\$ 68,729	<b>Construction Management</b>	<p>Scope and purpose: Overall project management; coordinate efforts with the general contractor, County, and PDGHAD; HASP preparation; Weekly virtual meetings (1.5 hours per 4 weeks, for 3 months); dispatch; client communications (~2-4 hrs for every week of field time).</p> <ul style="list-style-type: none"> <li>-An estimated level of effort is provided for the RFI responses and submittal reviews.</li> <li>-Prepare Final Testing/Conformance Letter.</li> </ul>
3	\$ 230,000	<b>Construction preparation, SWIPP, Post-Construction Activities etc.*</b>	<p>Mobilization (Multiple contractors) Water Pollution Control Traffic Control Site Access and Staging Clearing and Grubbing</p>
4	\$ 288,800	<b>Remove &amp; Replace Beach Access Stairs</b>	<p>Remove and Replace Beach Access Stairs (7 estimated in total at \$37,500. each)</p>
5	\$ 161,385	<b>Construction Monitoring</b>	<p>Scope and purpose: Geotechnical inspectors are needed on-site full-time for 3 Months (12 weeks), M-F at 10hrs/day, and are assumed to work two Saturdays a month during full-time work (6 days). All inspector rates include time for a senior technical staff member to review the inspector's submittals and work products. Expenses include per diem and truck day rate expenses.</p>
6	\$ 12,000	<b>Biological Assessment</b>	<p>In the months immediately preceding construction, the Site will need to be assessed for protected plants, birds, and any other sensitive habitat or endangered species. This will inform the areas requiring protective measures and potential monitoring. This report will need to be reviewed by the County. Cost estimated by doubling the 6k estimate provided 4 years ago.</p>
7	\$8,000. Unknown (8k to 172k possible)	<b>Biological Monitoring*</b>	<p>Areas identified as requiring protection and monitoring may need to be observed by a full-time on-site biologist (dependent on the type of sensitive habitat or endangered species identified, works proximity to them, and any specific County or State requirements for monitoring). Full-time cost may match Construction observation cost as a "highest cost" scenario.</p>
8	\$ 4,050	<b>County Permit &amp; Inspections</b>	<p>Estimated from building permit estimating tool provided by Santa Cruz County</p>

Item No.	Estimated Cost	Description	Cost Criteria / Basis
9	Unknown	<b>State Park Permit &amp; Laydown-yard costs*</b>	State parks can charge encroachment permits or use of lands fees. Cost The cost is undetermined at this time.
10	Unknown	<b>Additional Permits*</b>	Additional agencies can decide to take jurisdiction and apply permits and other costs/schedule constraints to the project.
11	\$ 71,934	<b>Homes Proximal to work zone: Pre- &amp; Post-Construction Survey</b>	Scope and purpose: For the 19 homes, a pre and post-visual inspection and photo documentation survey will be completed (3hrsx2 in total with 2 individuals in-field and with time inclusive of writing up/house for both pre and post). Assume can complete fieldwork at a rate of 3 homes per day, x2 for pre and post = 12 days (M-F, 10hrs per day) pre and post in field aka 2.5 weeks. Expenses include per diem and truck ay rate expenses.
12	\$ 115,305	<b>Homes with High Proximity to work zone: Pre- &amp; Post-Construction Survey</b>	Scope and purpose: For 9 homes proximal to the revetment, two individuals will collect LiDAR and image scans of the home/parcel exterior (Assumes a single parcel (APN) will require 8 hrs of scans, with two individuals 1- running LiDAR, 2nd- documenting existing signs of distress. In-office processing (30hrs for pre & post) will result in an image, a cloud point database, available to PDGHAD upon completion (processing in the office will take a cumulative 7 weeks and will run concurrently with fieldwork if it can. Assume fieldwork is completed at a rate of 2 homes per day, x2 for pre and post x9 homes = 8 days (M-F, 10hrs per day) pre and post in-field in 1.5 weeks.
13	Unknown	<b>Additional LiDAR Survey*</b>	Note Pre and Post scans are assumed, and no additional time is estimated for change detection assessment as these would be carried out upon request from PDGHAD or in the event of a complaint.
N/A	<b>Total Estimated Costs*</b>	\$ 1,990,102	Addition of line items 1 through 13 (above)
14	\$ 298,515.	<b>15% contingency</b>	Contingency is meant to cover unforeseen conditions or requirements. The items/Tasks not covered in the "Construction" quote (Line Item1) and the other listed costs include but are not limited to: <ul style="list-style-type: none"> <li>- Installation of temporary fencing, barricades, and/or pedestrian walkways</li> <li>- Vibration, subsidence, and/or noise prevention/monitoring</li> <li>- Layout, testing, inspections, engineering and/or surveying</li> <li>- Consequential and Liquidated Damages</li> <li>- Locating, marking, and protecting underground utilities and/or monitoring wells intended to remain</li> <li>- Overtime work hours</li> <li>- Asphalt protection</li> <li>- Removal of common perimeter fencing</li> </ul>
15	<b>9% Annual Loan Interest/10 yrs based on \$2.3mil. Cost</b>	\$ 1,236,303	<i>All assessments are subject to a 1% county collection fee, which is not included in the assessment total.</i> <i>*The provided line items and total estimate does not include all possible costs, and as such, some line items are designated as "unknown". Line items 14 and 15 were provided by PDGHAD.</i>
<b>Sum of line items 1 through 15=Total Budget*</b>		<b>\$ 3,524,920</b>	

### 3. Cost Allocation Method

The District comprises two zones. Zone 1 is responsible for the maintenance of the rock revetment and all costs and expenses associated therewith, and includes all properties of the District. Its boundaries coincide with the boundaries of the entire Pajaro Dunes development. Zone 2 is responsible for the maintenance of the sheet pile river wall and all costs and expenses associated therewith and includes all members of the Pelican Homeowners Association, a subdivision of the Pajaro Dunes development. The boundaries of Zone 2 coincide with the boundaries of the Pelican Point Condominium Project. The project does not include an assessment for any of the purposes for which Zone 2 was formed.

The rock revetment improvement is to be maintained and operated as a result of the formation of the Pajaro Dunes Geologic Hazards Abatement District. Said rock revetment has been installed within or in areas in close proximity to the developed residential lots and condominiums.

All costs associated with the Rock Revetment Return to Original Conditions expenses associated with the Zone 1 improvements shall be spread to all parcels in Zone 1 on a prorated development unit basis.

Additionally, all costs associated with the newly proposed Expenses and Reserve Fund shall be spread, in the manner referenced below, between all units in Zone 1. There will be no separate and additional assessment for the establishment of this Fund levied upon the Zone 2 units; all property owners located in Zone 1 will pay their proportionate share of the cost of the Fund via the Zone 1 assessment.

As a result of the foregoing, the developed residential lots in Zone 1 will receive 100% of the special benefits associated with the establishment of a fund to return the revetment to its original condition. These special benefits include enhanced neighborhood health, safety, and beautification, and improved quality of life, generated when the improvements provide protection against erosion from ocean and wave action and flooding. These benefits only occur when the improvements are in place, operable, safe, and maintained. The establishment of a fund for Rock Revetment Return to Original Condition will provide protection of improved property, enhanced comfort, and increase the desirability of the immediate surroundings of the residential units in the District.

A statement of the method by which the amount proposed to be assessed against each parcel was determined is described in this section. The cost allocation among various members of the PDGHAD was established when the District was created by the County Board of Supervisors on October 27, 1998. In the cost-allocation scheme, the major groups, Houses, Pelican Point Condominiums, and Cypress Grove Townhouses, share the costs based on the length of the seawall in the front of their respective areas. Per this cost-allocation scheme, in Zone 1, the cost shares for the Houses are 75.45%, Cypress Grove Townhouses are 11.85%, Pelican Point Condominiums are 10.18%, and the Pajaro Dunes Homeowners Association (Association) for the stairways is 2.53%.

Since the Pelican Point and Cypress Grove groups are condominium associations, they each share their portions of the costs equally among their members. In Zone 1, of the portion allocated to the houses, the front-row houses pay 64.12%, the second-row houses pay 7.57%, and the back-row houses pay 3.76%. In addition, the shares for the front-row houses vary by a factor of two to one, depending on the width of the lot. The estimated GHAD budget for Fiscal Years 2024/2025- 2034/2035 by benefit categories is presented in Table 2-Assessment Assessment Roll -Fiscal Year 2024 to 2035 (10 years), in Section 4 of this report.

In summary, based on the foregoing, this Engineer's Report makes the following findings:

- i. The tables for Zone 1 correctly state the proportionate special benefit derived by each identified parcel in relationship to the total cost of services.
- ii. No assessment is imposed on any parcel that exceeds the reasonable cost of the proportional benefit conferred on that parcel.
- iii. The only benefits assessed are special, and any general benefits have been excluded.
- iv. No parcel owned by any governmental agency, the state of California, or the United States receives any special benefit from the proposed assessment.

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## 4. Cost Allocation

This section presents the assessments for costs to each benefited parcel of land within assessment district Zones 1 for Fiscal Years 2024/2025 to 2034/2035, a 10-year annual assessment. A list of the Assessor’s Parcel Numbers for the individual lots and condominiums at the development is shown in Table 3. If approved, the lien date for the described assessments will be that prescribed by the law. This table apportions the proposed assessment for Fiscal Years 2024/2025 to 2034/2035.

**Table 2. Summary of Annual Assessments – Fiscal Years 2024/2025 to 2034/2035 (10 years)**

House/ Plot #	Unit	Unit Type	Assessor’s Parcel Number	Zone 1 Allocation Factor	Zone 1 Total Payment <sup>(1)</sup>	Total Annual Payment <sup>(1)</sup>
H 1	1001	Row 1 Houses	052-281-05	0.0096800	34,121.22	\$ 3,412.12
H 2	1002	Row 1 Houses	052-281-06	0.00991	34,931.95	\$ 3,493.20
H 3	1003	Row 1 Houses	052-281-07	0.00991	34,931.95	\$ 3,493.20
H 4	1004	Row 1 Houses	052-281-08	0.01198	42,228.54	\$ 4,222.85
H 5	1005	Row 1 Houses	052-281-09	0.00998	35,178.70	\$ 3,517.87
H 6	1006	Row 1 Houses	052-281-10	0.00991	34,931.95	\$ 3,493.20
H 7	1007	Row 1 Houses	052-281-11	0.01062	37,434.65	\$ 3,743.46
H 8	1008	Row 1 Houses	052-281-12	0.00921	32,464.51	\$ 3,246.45
H 9	1009	Row 1 Houses	052-281-13	0.00921	32,464.51	\$ 3,246.45
H 10	1010	Row 1 Houses	052-281-14	0.00991	34,931.95	\$ 3,493.20
H 11	1011	Row 1 Houses	052-281-15	0.01062	37,434.65	\$ 3,743.46
H 12	1012	Row 1 Houses	052-281-16	0.01133	39,937.34	\$ 3,993.73
H 13	1013	Row 1 Houses	052-281-17	0.01091	38,456.87	\$ 3,845.69
H 14	1014	Row 1 Houses	052-281-18	0.01247	43,955.75	\$ 4,395.57
H 15	1015	Row 1 Houses	052-281-19	0.01416	49,912.86	\$ 4,991.29
H 16	1016	Row 2 Houses	052-281-20	0.00172	6,062.86	\$ 606.29
H 17	1017	Row 3,4 & 5 Houses	052-281-21	0.0009400	3,313.42	\$ 331.34
H 18	1018	Row 2 Houses	052-281-22	0.00172	6,062.86	\$ 606.29
H 19	1019	Row 2 Houses	052-281-24	0.00172	6,062.86	\$ 606.29
H 20	1020	Row 2 Houses	052-281-25	0.00172	6,062.86	\$ 606.29
H 21	1021	Row 3,4 & 5 Houses	052-281-26	0.0009400	3,313.42	\$ 331.34
H 22	1022	Row 3,4 & 5 Houses	052-281-27	0.0009400	3,313.42	\$ 331.34
H 23	1023	Row 3,4 & 5 Houses	052-281-28	0.0009400	3,313.42	\$ 331.34
H 24	1024	Row 3,4 & 5 Houses	052-281-29	0.0009400	3,313.42	\$ 331.34
H 25	1025	Row 3,4 & 5 Houses	052-281-30	0.0009400	3,313.42	\$ 331.34
H 26	1026	Row 3,4 & 5 Houses	052-281-32	0.0009400	3,313.42	\$ 331.34



House/ Plot #	Unit	Unit Type	Assessor's Parcel Number	Zone 1 Allocation Factor	Zone 1 Total Payment <sup>(1)</sup>	Total Annual Payment <sup>(1)</sup>
H 27	1027	Row 3,4 & 5 Houses	052-281-33	0.0009400	3,313.42	\$ 331.34
H 28	1028	Row 2 Houses	052-281-34	0.00172	6,062.86	\$ 606.29
H 29	1029	Row 3,4 & 5 Houses	052-281-39	0.0009400	3,313.42	\$ 331.34
H 30	1030	Row 3,4 & 5 Houses	052-281-38	0.0009400	3,313.42	\$ 331.34
H 31	1031	Row 3,4 & 5 Houses	052-281-37	0.0009400	3,313.42	\$ 331.34
H 32	1032	Row 2 Houses	052-281-36	0.00172	6,062.86	\$ 606.29
H 33	1033	Row 2 Houses	052-281-35	0.00172	6,062.86	\$ 606.29
H 34	1034	Row 3,4 & 5 Houses	052-281-02	0.0009400	3,313.42	\$ 331.34
H 35	1035	Row 3,4 & 5 Houses	052-281-03	0.0009400	3,313.42	\$ 331.34
H 36	1036	Row 2 Houses	052-281-04	0.00172	6,062.86	\$ 606.29
H 37	1037	Row 2 Houses	052-291-17	0.00172	6,062.86	\$ 606.29
H 38	1038	Row 2 Houses	052-291-01	0.00172	6,062.86	\$ 606.29
H 39	1039	Row 2 Houses	052-291-02	0.00172	6,062.86	\$ 606.29
H 40	1040	Row 1 Houses	052-291-03	0.0085	29,961.82	\$ 2,996.18
H 41	1041	Row 1 Houses	052-291-04	0.0085	29,961.82	\$ 2,996.18
H 42	1042	Row 1 Houses	052-291-05	0.0085	29,961.82	\$ 2,996.18
H 43	1043	Row 1 Houses	052-291-06	0.0085	29,961.82	\$ 2,996.18
H 44	1044	Row 1 Houses	052-291-07	0.0085	29,961.82	\$ 2,996.18
H 45	1045	Row 1 Houses	052-291-08	0.0085	29,961.82	\$ 2,996.18
H 46	1046	Row 1 Houses	052-291-09	0.0085	29,961.82	\$ 2,996.18
H 47	1047	Row 1 Houses	052-291-10	0.0085	29,961.82	\$ 2,996.18
H 48	1048	Row 1 Houses	052-291-11	0.0085	29,961.82	\$ 2,996.18
H 49	1049	Row 2 Houses	052-291-12	0.00172	6,062.86	\$ 606.29
H 50	1050	Row 2 Houses	052-291-13	0.00172	6,062.86	\$ 606.29
H 51	1051	Row 2 Houses	052-291-14	0.00172	6,062.86	\$ 606.29
H 52	1052	Row 2 Houses	052-291-16	0.00172	6,062.86	\$ 606.29
H 53	1053	Row 3,4 & 5 Houses	052-291-15	0.0009400	3,313.42	\$ 331.34
H 54	1054	Row 1 Houses	052-601-11	0.00949	33,451.49	\$ 3,345.15
H 55	1055	Row 1 Houses	052-601-10	0.0085	29,961.82	\$ 2,996.18
H 56	1056	Row 1 Houses	052-601-09	0.00921	32,464.51	\$ 3,246.45
H 57	1057	Row 1 Houses	052-601-08	0.01006	35,460.69	\$ 3,546.07
H 58	1058	Row 1 Houses	052-601-07	0.00989	34,861.46	\$ 3,486.15
H 59	1059	Row 1 Houses	052-301-15	0.00992	34,967.20	\$ 3,496.72
H 60	1060	Row 1 Houses	052-301-16	0.00992	34,967.20	\$ 3,496.72
H 61	1061	Row 2 Houses	052-301-02	0.00172	6,062.86	\$ 606.29
H 62	1062	Row 2 Houses	052-301-03	0.00172	6,062.86	\$ 606.29
H 63	1063	Row 2 Houses	052-601-02	0.00172	6,062.86	\$ 606.29

House/ Plot #	Unit	Unit Type	Assessor's Parcel Number	Zone 1 Allocation Factor	Zone 1 Total Payment <sup>(1)</sup>	Total Annual Payment <sup>(1)</sup>
H 64	1064	Row 2 Houses	052-601-03	0.00172	6,062.86	\$ 606.29
H 65	1065	Row 3,4 & 5 Houses	052-601-04	0.0009400	3,313.42	\$ 331.34
H 66	1066	Row 3,4 & 5 Houses	052-601-05	0.0009400	3,313.42	\$ 331.34
H 67	1067	Row 2 Houses	052-601-06	0.00172	6,062.86	\$ 606.29
H 68	1068	Row 1 Houses	052-291-20	0.0085	29,961.82	\$ 2,996.18
H 69	1069	Row 1 Houses	052-291-21	0.0085	29,961.82	\$ 2,996.18
H 70	1070	Row 1 Houses	052-291-22	0.0085	29,961.82	\$ 2,996.18
H 71	1071	Row 1 Houses	052-291-24	0.0085	29,961.82	\$ 2,996.18
H 72	1072	Row 1 Houses	052-291-25	0.0085	29,961.82	\$ 2,996.18
H 73	1073	Row 1 Houses	052-291-26	0.0085	29,961.82	\$ 2,996.18
H 74	1074	Row 1 Houses	052-291-27	0.0085	29,961.82	\$ 2,996.18
H 75	1075	Row 1 Houses	052-291-29	0.0085	29,961.82	\$ 2,996.18
H 76	1076	Row 1 Houses	052-291-30	0.0085	29,961.82	\$ 2,996.18
H 77	1077	Row 1 Houses	052-291-31	0.0085	29,961.82	\$ 2,996.18
H 78	1078	Row 1 Houses	052-291-32	0.0085	29,961.82	\$ 2,996.18
H 79	1079	Row 1 Houses	052-291-34	0.0085	29,961.82	\$ 2,996.18
H 80	1080	Row 1 Houses	052-291-35	0.0085	29,961.82	\$ 2,996.18
H 81	1081	Row 2 Houses	052-292-01	0.00172	6,062.86	\$ 606.29
H 82	1082	Row 2 Houses	052-292-02	0.00172	6,062.86	\$ 606.29
H 83	1083	Row 2 Houses	052-292-03	0.00172	6,062.86	\$ 606.29
H 84	1084	Row 2 Houses	052-292-04	0.00172	6,062.86	\$ 606.29
H 85	1085	Row 2 Houses	052-292-05	0.00172	6,062.86	\$ 606.29
H 86	1086	Row 2 Houses	052-292-06	0.00172	6,062.86	\$ 606.29
H 87	1087	Row 2 Houses	052-292-07	0.00172	6,062.86	\$ 606.29
H 88	1088	Row 2 Houses	052-292-08	0.00172	6,062.86	\$ 606.29
H 89	1089	Row 2 Houses	052-292-09	0.00172	6,062.86	\$ 606.29
H 90	1090	Row 1 Houses	052-321-01	0.01034	36,447.67	\$ 3,644.77
H 91	1091	Row 1 Houses	052-321-02	0.00906	31,935.77	\$ 3,193.58
H 92	1092	Row 1 Houses	052-321-03	0.01048	36,941.16	\$ 3,694.12
H 93	1093	Row 1 Houses	052-321-04	0.00878	30,948.80	\$ 3,094.88
H 94	1094	Row 1 Houses	052-321-05	0.01034	36,447.67	\$ 3,644.77
H 95	1095	Row 1 Houses	052-321-06	0.00977	34,438.47	\$ 3,443.85
H 96	1096	Row 1 Houses	052-321-07	0.00991	34,931.95	\$ 3,493.20
H 97	1097	Row 1 Houses	052-321-08	0.00991	34,931.95	\$ 3,493.20
H 98	1098	Row 1 Houses	052-321-09	0.00887	31,266.04	\$ 3,126.60
H 99	1099	Row 1 Houses	052-321-10	0.00906	31,935.77	\$ 3,193.58
H 100	1100	Row 1 Houses	052-321-11	0.00991	34,931.95	\$ 3,493.20
H 101	1101	Row 1 Houses	052-321-12	0.0100	35,213.95	\$ 3,521.39
H 102	1102	Row 1 Houses	052-321-13	0.00917	32,323.51	\$ 3,232.35
H 103	1103	Row 1 Houses	052-321-14	0.00935	32,958.00	\$ 3,295.80

House/ Plot #	Unit	Unit Type	Assessor's Parcel Number	Zone 1 Allocation Factor	Zone 1 Total Payment <sup>(1)</sup>	Total Annual Payment <sup>(1)</sup>
H 104	1104	Row 1 Houses	052-321-15	0.00991	34,931.95	\$ 3,493.20
H 105	1105	Row 1 Houses	052-321-16	0.0102	35,954.18	\$ 3,595.42
H 106	1106	Row 1 Houses	052-321-17	0.00935	32,958.00	\$ 3,295.80
H 107	1107	Row 1 Houses	052-321-18	0.00878	30,948.80	\$ 3,094.88
H 108	1108	Row 2 Houses	052-321-19	0.00172	6,062.86	\$ 606.29
H 109	1109	Row 2 Houses	052-321-20	0.00172	6,062.86	\$ 606.29
H 110	1110	Row 2 Houses	052-321-21	0.00172	6,062.86	\$ 606.29
H 111	1111	Row 2 Houses	052-321-22	0.00172	6,062.86	\$ 606.29
H 112	1112	Row 2 Houses	052-321-23	0.00172	6,062.86	\$ 606.29
H 113	1113	Row 3,4 & 5 Houses	052-321-24	0.0009400	3,313.42	\$ 331.34
H 114	1114	Row 2 Houses	052-321-25	0.00172	6,062.86	\$ 606.29
H 115	1115	Row 2 Houses	052-321-26	0.00172	6,062.86	\$ 606.29
H 116	1116	Row 2 Houses	052-321-27	0.00172	6,062.86	\$ 606.29
H 117	1117	Row 2 Houses	052-321-28	0.00172	6,062.86	\$ 606.29
H 118	1118	Row 2 Houses	052-321-29	0.00172	6,062.86	\$ 606.29
H 119	1119	Row 2 Houses	052-321-30	0.00172	6,062.86	\$ 606.29
H 120	1120	Row 2 Houses	052-321-31	0.00172	6,062.86	\$ 606.29
H 121	1121	Row 2 Houses	052-321-32	0.00172	6,062.86	\$ 606.29
H 122	1122	Row 3,4 & 5 Houses	052-321-33	0.0009400	3,313.42	\$ 331.34
H 123	1123	Row 3,4 & 5 Houses	052-321-34	0.0009400	3,313.42	\$ 331.34
H 124	1124	Row 3,4 & 5 Houses	052-321-35	0.0009400	3,313.42	\$ 331.34
H 125	1125	Row 3,4 & 5 Houses	052-321-36	0.0009400	3,313.42	\$ 331.34
H 126	1126	Row 3,4 & 5 Houses	052-321-37	0.0009400	3,313.42	\$ 331.34
H 127	1127	Row 3,4 & 5 Houses	052-321-38	0.0009400	3,313.42	\$ 331.34
H 128	1128	Row 3,4 & 5 Houses	052-321-39	0.0009400	3,313.42	\$ 331.34
H 129	1129	Row 3,4 & 5 Houses	052-321-40	0.0009400	3,313.42	\$ 331.34
H 130	1130	Row 3,4 & 5 Houses	052-321-41	0.0009400	3,313.42	\$ 331.34
H 131	1131	Row 3,4 & 5 Houses	052-321-42	0.0009400	3,313.42	\$ 331.34
H 132	1132	Row 3,4 & 5 Houses	052-321-43	0.0009400	3,313.42	\$ 331.34
H 133	1133	Row 3,4 & 5 Houses	052-321-50	0.0009400	3,313.42	\$ 331.34
H 134	1134	Row 3,4 & 5 Houses	052-321-49	0.0009400	3,313.42	\$ 331.34

House/ Plot #	Unit	Unit Type	Assessor's Parcel Number	Zone 1 Allocation Factor	Zone 1 Total Payment <sup>(1)</sup>	Total Annual Payment <sup>(1)</sup>
H 135	1135	Row 3,4 & 5 Houses	052-321-48	0.0009400	3,313.42	\$ 331.34
H 136	1136	Row 3,4 & 5 Houses	052-321-47	0.0009400	3,313.42	\$ 331.34
H 137	1137	Row 3,4 & 5 Houses	052-321-46	0.0009400	3,313.42	\$ 331.34
H 138	1138	Row 3,4 & 5 Houses	052-321-45	0.0009400	3,313.42	\$ 331.34
H 139	1139	Row 3,4 & 5 Houses	052-321-44	0.0009400	3,313.42	\$ 331.34
H 140	1140	Row 1 Houses	052-591-07	0.0085	29,961.82	\$ 2,996.18
H 141	1141	Row 1 Houses	052-591-08	0.00903	31,830.03	\$ 3,183.00
H 142	1142	Row 2 Houses	052-591-06	0.00172	6,062.86	\$ 606.29
H 143	1143	Row 2 Houses	052-591-05	0.00172	6,062.86	\$ 606.29
H 144	1144	Row 1 Houses	052-301-70	0.01712	60,346.63	\$ 6,034.66
H 145	1145	Row 1 Houses	052-301-69	0.00993	35,002.45	\$ 3,500.25
H 146/CY24	1146	Row 1 Houses	052-301-68	0.00977	34,438.47	\$ 3,443.85
H 147	1147	Row 3,4 & 5 Houses	052-301-62	0.0009400	3,313.42	\$ 331.34
H 148	1148	Row 3,4 & 5 Houses	Common area pay direct to PDGHAD	0.0009400	3,313.42	\$ 331.34
H 149	1149	Row 3,4 & 5 Houses	Common area pay direct to PDGHAD	0.0009400	3,313.42	\$ 331.34
H 150	1150	Row 3,4 & 5 Houses	Common area pay direct to PDGHAD	0.0009400	3,313.42	\$ 331.34
H 151	1151	Row 3,4 & 5 Houses	Common area pay direct to PDGHAD	0.0009400	3,313.42	\$ 331.34
P 1	2001	Pelican Point Condominiums	052-341-10	0.00117	4,124.16	\$ 412.42
P 2	2002	Pelican Point Condominiums	052-341-02	0.00117	4,124.16	\$ 412.42
P 3	2003	Pelican Point Condominiums	052-341-03	0.00117	4,124.16	\$ 412.42
P 4	2004	Pelican Point Condominiums	052-341-04	0.00117	4,124.16	\$ 412.42
P 5	2005	Pelican Point Condominiums	052-341-05	0.00117	4,124.16	\$ 412.42
P 6	2006	Pelican Point Condominiums	052-341-06	0.00117	4,124.16	\$ 412.42
P 7	2007	Pelican Point Condominiums	052-341-07	0.00117	4,124.16	\$ 412.42
P 8	2008	Pelican Point Condominiums	052-341-08	0.00117	4,124.16	\$ 412.42

House/ Plot #	Unit	Unit Type	Assessor's Parcel Number	Zone 1 Allocation Factor	Zone 1 Total Payment <sup>(1)</sup>	Total Annual Payment <sup>(1)</sup>
P 9	2009	Pelican Point Condominiums	052-341-09	0.00117	4,124.16	\$ 412.42
P 10	2010	Pelican Point Condominiums	052-352-01	0.00117	4,124.16	\$ 412.42
P 11	2011	Pelican Point Condominiums	052-352-02	0.00117	4,124.16	\$ 412.42
P 12	2012	Pelican Point Condominiums	052-352-03	0.00117	4,124.16	\$ 412.42
P 13	2013	Pelican Point Condominiums	052-352-04	0.00117	4,124.16	\$ 412.42
P 14	2014	Pelican Point Condominiums	052-362-01	0.00117	4,124.16	\$ 412.42
P 15	2015	Pelican Point Condominiums	052-362-02	0.00117	4,124.16	\$ 412.42
P 16	2016	Pelican Point Condominiums	052-362-03	0.00117	4,124.16	\$ 412.42
P 17	2017	Pelican Point Condominiums	052-362-04	0.00117	4,124.16	\$ 412.42
P 18	2018	Pelican Point Condominiums	052-362-05	0.00117	4,124.16	\$ 412.42
P 19	2019	Pelican Point Condominiums	052-362-06	0.00117	4,124.16	\$ 412.42
P 20	2020	Pelican Point Condominiums	052-362-07	0.00117	4,124.16	\$ 412.42
P 21	2021	Pelican Point Condominiums	052-342-01	0.00117	4,124.16	\$ 412.42
P 22	2022	Pelican Point Condominiums	052-342-02	0.00117	4,124.16	\$ 412.42
P 23	2023	Pelican Point Condominiums	052-342-03	0.00117	4,124.16	\$ 412.42
P 24	2024	Pelican Point Condominiums	052-342-04	0.00117	4,124.16	\$ 412.42
P 25	2025	Pelican Point Condominiums	052-343-01	0.00117	4,124.16	\$ 412.42
P 26	2026	Pelican Point Condominiums	052-343-02	0.00117	4,124.16	\$ 412.42
P 27	2027	Pelican Point Condominiums	052-343-03	0.00117	4,124.16	\$ 412.42
P 28	2028	Pelican Point Condominiums	052-343-05	0.00117	4,124.16	\$ 412.42
P 29	2029	Pelican Point Condominiums	052-343-06	0.00117	4,124.16	\$ 412.42
P 30	2030	Pelican Point Condominiums	052-343-07	0.00117	4,124.16	\$ 412.42
P 31	2031	Pelican Point Condominiums	052-343-08	0.00117	4,124.16	\$ 412.42
P 32	2032	Pelican Point Condominiums	052-343-09	0.00117	4,124.16	\$ 412.42

House/ Plot #	Unit	Unit Type	Assessor's Parcel Number	Zone 1 Allocation Factor	Zone 1 Total Payment <sup>(1)</sup>	Total Annual Payment <sup>(1)</sup>
P 33	2033	Pelican Point Condominiums	052-351-26	0.00117	4,124.16	\$ 412.42
P 34	2034	Pelican Point Condominiums	052-351-11	0.00117	4,124.16	\$ 412.42
P 35	2035	Pelican Point Condominiums	052-343-04	0.00117	4,124.16	\$ 412.42
P 36	2036	Pelican Point Condominiums	052-351-22	0.00117	4,124.16	\$ 412.42
P 37	2037	Pelican Point Condominiums	052-351-25	0.00117	4,124.16	\$ 412.42
P 38	2038	Pelican Point Condominiums	052-351-24	0.00117	4,124.16	\$ 412.42
P 39	2039	Pelican Point Condominiums	052-351-12	0.00117	4,124.16	\$ 412.42
P 40	2040	Pelican Point Condominiums	052-351-13	0.00117	4,124.16	\$ 412.42
P 41	2041	Pelican Point Condominiums	052-363-01	0.00117	4,124.16	\$ 412.42
P 42	2042	Pelican Point Condominiums	052-363-02	0.00117	4,124.16	\$ 412.42
P 43	2043	Pelican Point Condominiums	052-363-03	0.00117	4,124.16	\$ 412.42
P 44	2044	Pelican Point Condominiums	052-363-04	0.00117	4,124.16	\$ 412.42
P 45	2045	Pelican Point Condominiums	052-363-05	0.00117	4,124.16	\$ 412.42
P 46	2046	Pelican Point Condominiums	052-363-06	0.00117	4,124.16	\$ 412.42
P 47	2047	Pelican Point Condominiums	052-363-07	0.00117	4,124.16	\$ 412.42
P 48	2048	Pelican Point Condominiums	052-363-08	0.00117	4,124.16	\$ 412.42
P 49	2049	Pelican Point Condominiums	052-344-01	0.00117	4,124.16	\$ 412.42
P 50	2050	Pelican Point Condominiums	052-344-02	0.00117	4,124.16	\$ 412.42
P 51	2051	Pelican Point Condominiums	052-344-03	0.00117	4,124.16	\$ 412.42
P 52	2052	Pelican Point Condominiums	052-344-05	0.00117	4,124.16	\$ 412.42
P 53	2053	Pelican Point Condominiums	052-344-06	0.00117	4,124.16	\$ 412.42
P 54	2054	Pelican Point Condominiums	052-344-07	0.00117	4,124.16	\$ 412.42
P 55	2055	Pelican Point Condominiums	052-344-08	0.00117	4,124.16	\$ 412.42
P 56	2056	Pelican Point Condominiums	052-344-09	0.00117	4,124.16	\$ 412.42

House/ Plot #	Unit	Unit Type	Assessor's Parcel Number	Zone 1 Allocation Factor	Zone 1 Total Payment <sup>(1)</sup>	Total Annual Payment <sup>(1)</sup>
P 57	2057	Pelican Point Condominiums	052-353-01	0.00117	4,124.16	\$ 412.42
P 58	2058	Pelican Point Condominiums	052-353-02	0.00117	4,124.16	\$ 412.42
P 59	2059	Pelican Point Condominiums	052-344-04	0.00117	4,124.16	\$ 412.42
P 60	2060	Pelican Point Condominiums	052-353-03	0.00117	4,124.16	\$ 412.42
P 61	2061	Pelican Point Condominiums	052-353-04	0.00117	4,124.16	\$ 412.42
P 62	2062	Pelican Point Condominiums	052-353-05	0.00117	4,124.16	\$ 412.42
P 63	2063	Pelican Point Condominiums	052-535-06	0.00117	4,124.16	\$ 412.42
P 64	2064	Pelican Point Condominiums	052-353-07	0.00117	4,124.16	\$ 412.42
P 65	2065	Pelican Point Condominiums	052-361-27	0.00117	4,124.16	\$ 412.42
P 66	2066	Pelican Point Condominiums	052-361-28	0.00117	4,124.16	\$ 412.42
P 67	2067	Pelican Point Condominiums	052-361-15	0.00117	4,124.16	\$ 412.42
P 68	2068	Pelican Point Condominiums	052-361-16	0.00117	4,124.16	\$ 412.42
P 69	2069	Pelican Point Condominiums	052-361-17	0.00117	4,124.16	\$ 412.42
P 70	2070	Pelican Point Condominiums	052-361-18	0.00117	4,124.16	\$ 412.42
P 71	2071	Pelican Point Condominiums	052-361-19	0.00117	4,124.16	\$ 412.42
P 72	2072	Pelican Point Condominiums	052-361-20	0.00117	4,124.16	\$ 412.42
P 73	2073	Pelican Point Condominiums	052-345-01	0.00117	4,124.16	\$ 412.42
P 74	2074	Pelican Point Condominiums	052-345-02	0.00117	4,124.16	\$ 412.42
P 75	2075	Pelican Point Condominiums	052-345-03	0.00117	4,124.16	\$ 412.42
P 76	2076	Pelican Point Condominiums	052-345-04	0.00117	4,124.16	\$ 412.42
P 77	2077	Pelican Point Condominiums	052-354-01	0.00117	4,124.16	\$ 412.42
P 78	2078	Pelican Point Condominiums	052-354-02	0.00117	4,124.16	\$ 412.42
P 79	2079	Pelican Point Condominiums	052-354-03	0.00117	4,124.16	\$ 412.42
P 80	2080	Pelican Point Condominiums	052-354-04	0.00117	4,124.16	\$ 412.42

House/ Plot #	Unit	Unit Type	Assessor's Parcel Number	Zone 1 Allocation Factor	Zone 1 Total Payment <sup>(1)</sup>	Total Annual Payment <sup>(1)</sup>
P 81	2081	Pelican Point Condominiums	052-364-01	0.00117	4,124.16	\$ 412.42
P 82	2082	Pelican Point Condominiums	052-364-02	0.00117	4,124.16	\$ 412.42
P 83	2083	Pelican Point Condominiums	052-364-03	0.00117	4,124.16	\$ 412.42
P 84	2084	Pelican Point Condominiums	052-364-04	0.00117	4,124.16	\$ 412.42
P 85	2085	Pelican Point Condominiums	052-332-01	0.00117	4,124.16	\$ 412.42
P 86	2086	Pelican Point Condominiums	052-332-02	0.00117	4,124.16	\$ 412.42
P 87	2087	Pelican Point Condominiums	052-332-03	0.00117	4,124.16	\$ 412.42
CY 1	3001	Cypress Grove Townhomes	052-301-49	0.00515	18,146.29	\$ 1,814.63
CY 2	3002	Cypress Grove Townhomes	052-301-48	0.00515	18,146.29	\$ 1,814.63
CY 3	3003	Cypress Grove Townhomes	052-301-47	0.00515	18,146.29	\$ 1,814.63
CY 4	3004	Cypress Grove Townhomes	052-301-46	0.00515	18,146.29	\$ 1,814.63
CY 5	3005	Cypress Grove Townhomes	052-301-45	0.00515	18,146.29	\$ 1,814.63
CY 6	3006	Cypress Grove Townhomes	052-301-44	0.00515	18,146.29	\$ 1,814.63
CY 7	3007	Cypress Grove Townhomes	052-301-43	0.00515	18,146.29	\$ 1,814.63
CY 8	3008	Cypress Grove Townhomes	052-301-42	0.00515	18,146.29	\$ 1,814.63
CY 9	3009	Cypress Grove Townhomes	052-301-41	0.00515	18,146.29	\$ 1,814.63
CY 10	3010	Cypress Grove Townhomes	052-301-40	0.00515	18,146.29	\$ 1,814.63
CY 11	3011	Cypress Grove Townhomes	052-301-38	0.00515	18,146.29	\$ 1,814.63
CY 12	3012	Cypress Grove Townhomes	052-301-37	0.00515	18,146.29	\$ 1,814.63
CY 13	3013	Cypress Grove Townhomes	052-301-36	0.00515	18,146.29	\$ 1,814.63
CY 14	3014	Cypress Grove Townhomes	052-301-31	0.00515	18,146.29	\$ 1,814.63
CY 15	3015	Cypress Grove Townhomes	052-301-30	0.00515	18,146.29	\$ 1,814.63
CY 16	3016	Cypress Grove Townhomes	052-301-29	0.00515	18,146.29	\$ 1,814.63
CY 17	3017	Cypress Grove Townhomes	052-301-28	0.00515	18,146.29	\$ 1,814.63



House/ Plot #	Unit	Unit Type	Assessor's Parcel Number	Zone 1 Allocation Factor	Zone 1 Total Payment <sup>(1)</sup>	Total Annual Payment <sup>(1)</sup>
CY 18	3018	Cypress Grove Townhomes	052-301-34	0.00515	18,146.29	\$ 1,814.63
CY 19	3019	Cypress Grove Townhomes	052-301-33	0.00515	18,146.29	\$ 1,814.63
CY 20	3020	Cypress Grove Townhomes	052-301-26	0.00515	18,146.29	\$ 1,814.63
CY 21	3021	Cypress Grove Townhomes	052-301-25	0.00515	18,146.29	\$ 1,814.63
CY 22	3022	Cypress Grove Townhomes	052-301-24	0.00515	18,146.29	\$ 1,814.63
CY 23	3023	Cypress Grove Townhomes	052-301-23	0.00515	18,146.29	\$ 1,814.63
H	H	PDA Stairs	Common area pay direct to PDGHAD	0.02531	89,201.62	\$ 8,920.16
<b>Total Collected/year*</b>					<b>\$3,525,307.49</b>	<b>\$352,530.75</b>
(1) Assessments are subject to a 1% County Collection Fee in addition to the listed amounts. Table values provided by PDGHAD.						
(2) Rounding error lead to a \$378.89 difference, and is the responsibility of the PDGHAD						

**Table 3. Proposed Assessment and Fiscal Years 2024/2025 to 2034/2035 GHAD Budget by Benefit Categories**

Category	Proportional Benefit	Assessment Amount	No. of Units
<b>Zone 1</b>			
Row 1 Houses	64.133%	\$2,260,637	67
Row 2 Houses	7.545%	\$265,955	44
Row 3,4 & 5 Houses	3.772%	\$132,960	40
Cypress Grove Townhomes	11.8400%	\$417,350	23
Pelican Point Condominiums	10.180%	\$358,837	87
PDA Stairs	2.531%	\$89,202	1
<b>Zone 1 Total:</b>	<b>100.0%</b>	<b>\$3,524,920</b>	<b>262</b>
Table 2 - Proposed Assessment and Fiscal Years 2024/2025 to 2034/2035 GHAD Budget by Benefit Categories. Table values provided by PDGHAD.			

## 5. Parcels Map & Revetment Project Plan

Stamped and County reviewed Rock Revetment Project Plans (Appendix A), which outline the proposed work location and approach. All the parcels of real property within this assessment district, including the major groups, Houses, Pelican Point Condominiums, and Cypress Grove Townhouses, are presented in the attached Rock Revetment Project Plans (Appendix A).

DRAFT

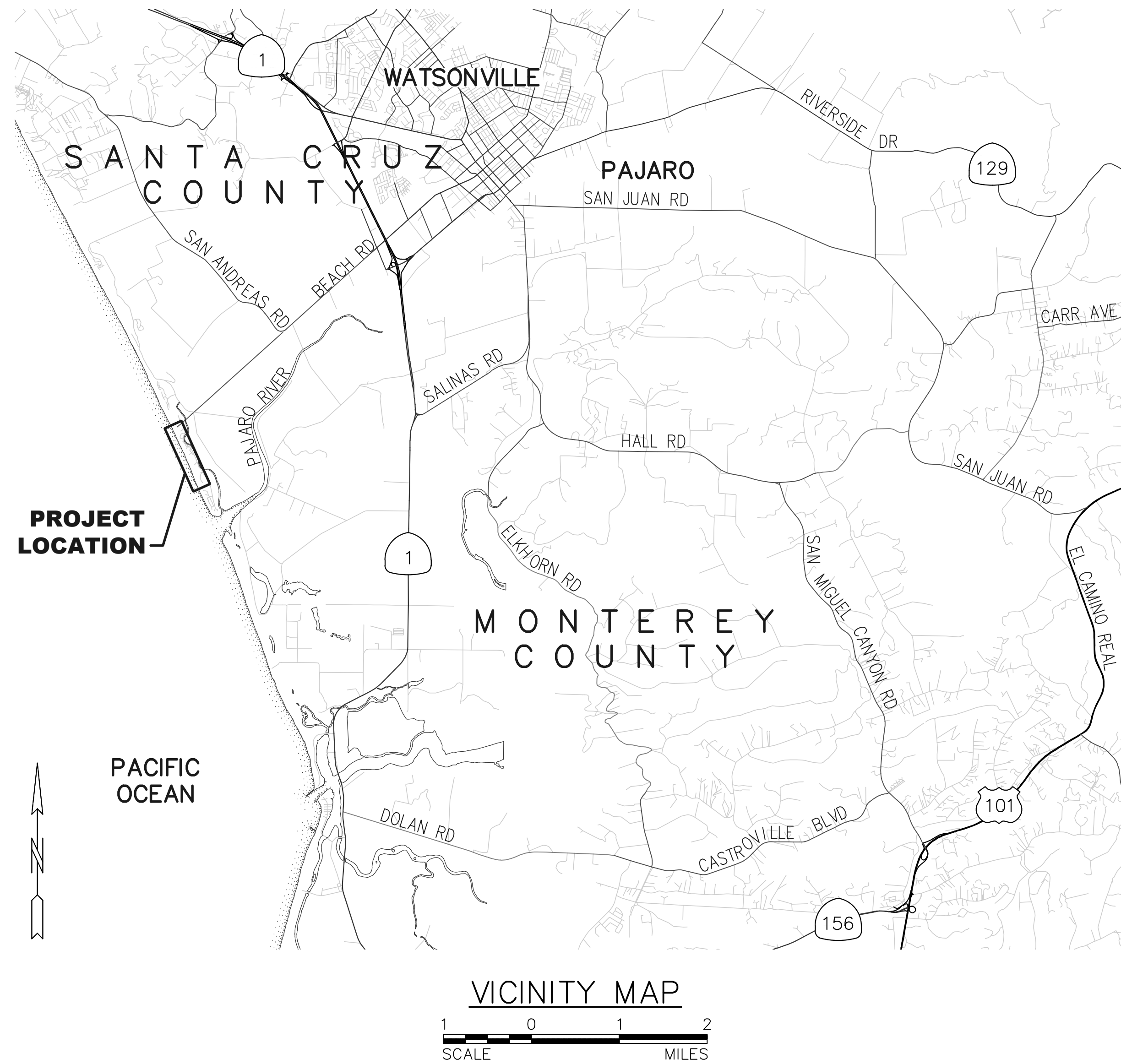
APPENDIX A  
Rock Revetment Project Plans

DRAFT

# PAJARO DUNES GHAD

## ROCK REVETMENT MAINTENANCE LOTS 1-12, 15, 54-55, 94-103, AND 107 PAJARO DUNES RESORT WATSONVILLE, CALIFORNIA

**AUGUST 2023**



**GENERAL NOTES**

**1. STANDARD SPECIFICATIONS**

ALL MATERIALS AND CONSTRUCTION METHODS SHALL COMPLY WITH THE REQUIREMENTS OF THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION (CALTRANS) STANDARD SPECIFICATIONS, 2018 EDITION, UNLESS OTHERWISE NOTED ON THESE PLANS.

**2. PERMITS**

THE OWNER WILL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS.

**3. TRAFFIC CONTROL AND PUBLIC SAFETY**

THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, SIGNS, BARRICADES, FENCING, FLAGGING, AND OTHER DEVICES NECESSARY FOR TRAFFIC CONTROL AND PUBLIC SAFETY.

**4. EXISTING FACILITIES**

EXISTING SITE IMPROVEMENTS TO REMAIN MAY INTERFERE WITH THE WORK. THESE FACILITIES SHALL BE PROTECTED OR REMOVED AND REPLACED WITH LIKE KIND AND QUALITY AT THE CONTRACTOR'S EXPENSE.

**5. SITE INFORMATION**

THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL ABOVE GROUND AND UNDERGROUND FACILITIES WHICH MAY BE AFFECTED BY HIS OPERATIONS. THE CONTRACTOR SHALL CONTACT OWNERS OF THESE FACILITIES AND SHALL PROTECT FACILITIES AND MAINTAIN SERVICE DURING CONSTRUCTION. THE CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT (USA) AT (800) 642-2444 AT LEAST THREE WORKING DAYS PRIOR TO CONSTRUCTION.

DIMENSIONS AND LIMITS OF WORK SHOWN ON THE PLANS ARE APPROXIMATE AND ARE SUBJECT TO CHANGE BASED ON CONDITIONS ENCOUNTERED. CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND SITE CONDITIONS PRIOR TO THE START OF CONSTRUCTION. DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND THOSE SHOWN ON THE PLANS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER.

**6. INSPECTIONS**

ENGINEERING INSPECTIONS WILL BE CARRIED OUT BY CAL ENGINEERING & GEOLOGY, INC. (925) 935-9771. THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER AT LEAST TWO WORKING DAYS PRIOR TO ALL REQUIRED INSPECTIONS.

**7. STAGING RESTORATION**

STAGING AREAS SHALL BE RESTORED TO THEIR PRE-CONSTRUCTION CONDITION. CONTRACTOR SHALL DOCUMENT THE PRE-CONSTRUCTION CONDITION OF ALL STAGING AREAS AND ACCESS ROUTES PRIOR TO CONSTRUCTION. PAVEMENT AREAS SHALL BE RESTORED BY REMOVING AND REPLACING THE DAMAGED PAVEMENT WITH 3" AC (TYPE A) OVER 6" CLASS 2 AB AS DIRECTED BY THE ENGINEER.

**8. TOTAL ROCK**

PLANNED TOTAL ROCK MATERIAL TO POTENTIALLY BE MOVED FOR THE PROJECT EQUALS 1,135 TONS OR 841 CUBIC YARDS (ASSUMING 2700 LBS PER CUBIC YARD). SEE SHEET 2 FOR SOURCE DETAILS.

**DESCRIPTION OF WORK**

THE WORK SHALL CONSIST IN GENERAL OF PROVIDING ALL MATERIAL, LABOR, AND EQUIPMENT NECESSARY TO COMPLETE THE REVETMENT MAINTENANCE PROJECT. WORK SHALL INCLUDE, BUT NOT BE LIMITED TO, MOBILIZATION, WATER POLLUTION CONTROL, TRAFFIC CONTROL, ESTABLISHING SITE ACCESS AND STAGING AREAS, CLEARING AND GRUBBING, EXCAVATION SHORING AS REQUIRED, TEMPORARY EXCAVATION AND BACKFILL IN SAND, AND RELOCATING AND STACKING EXISTING BURIED REVETMENT ROCKS.

**CONTRACTOR LICENSE**

THE CONTRACTOR SHALL POSSESS A VALID CLASS A LICENSE AT THE TIME THE CONTRACT IS AWARDED.

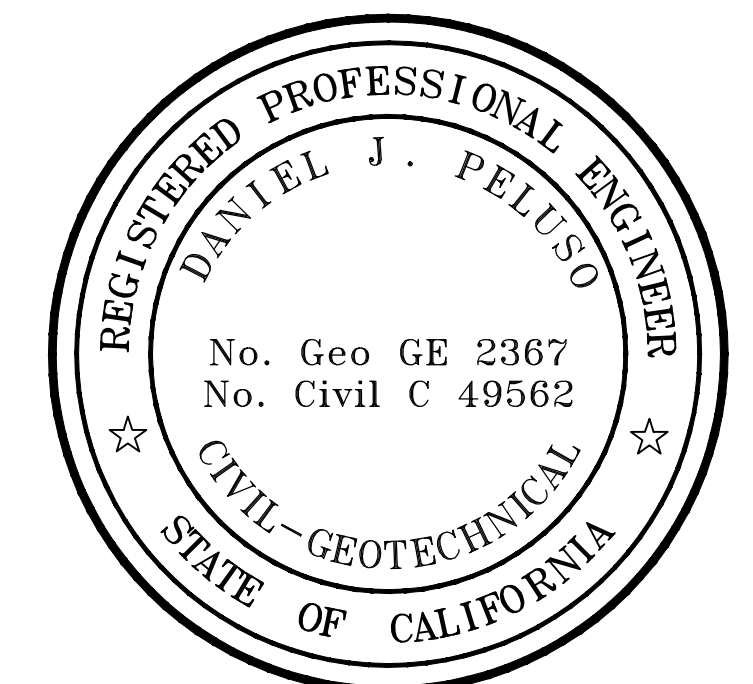
**INDEX OF SHEETS**

- 1. TITLE SHEET
- 2. TYPICAL SECTION
- 3. PROJECT CONTROL
- 4. SITE ACCESS AND STAGING AREAS
- 5.-9. SITE PLAN
- 10.-16. SECTIONS

**STANDARD PLANS**

THE FOLLOWING STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION (CALTRANS) STANDARD PLANS, 2010 EDITION, APPLY:

- A10A ABBREVIATIONS (SHEET 1 OF 2)
- A10B ABBREVIATIONS (SHEET 2 OF 2)
- A10C LINES AND SYMBOLS (SHEET 1 OF 3)
- A10D LINES AND SYMBOLS (SHEET 2 OF 3)
- A10E LINES AND SYMBOLS (SHEET 3 OF 3)



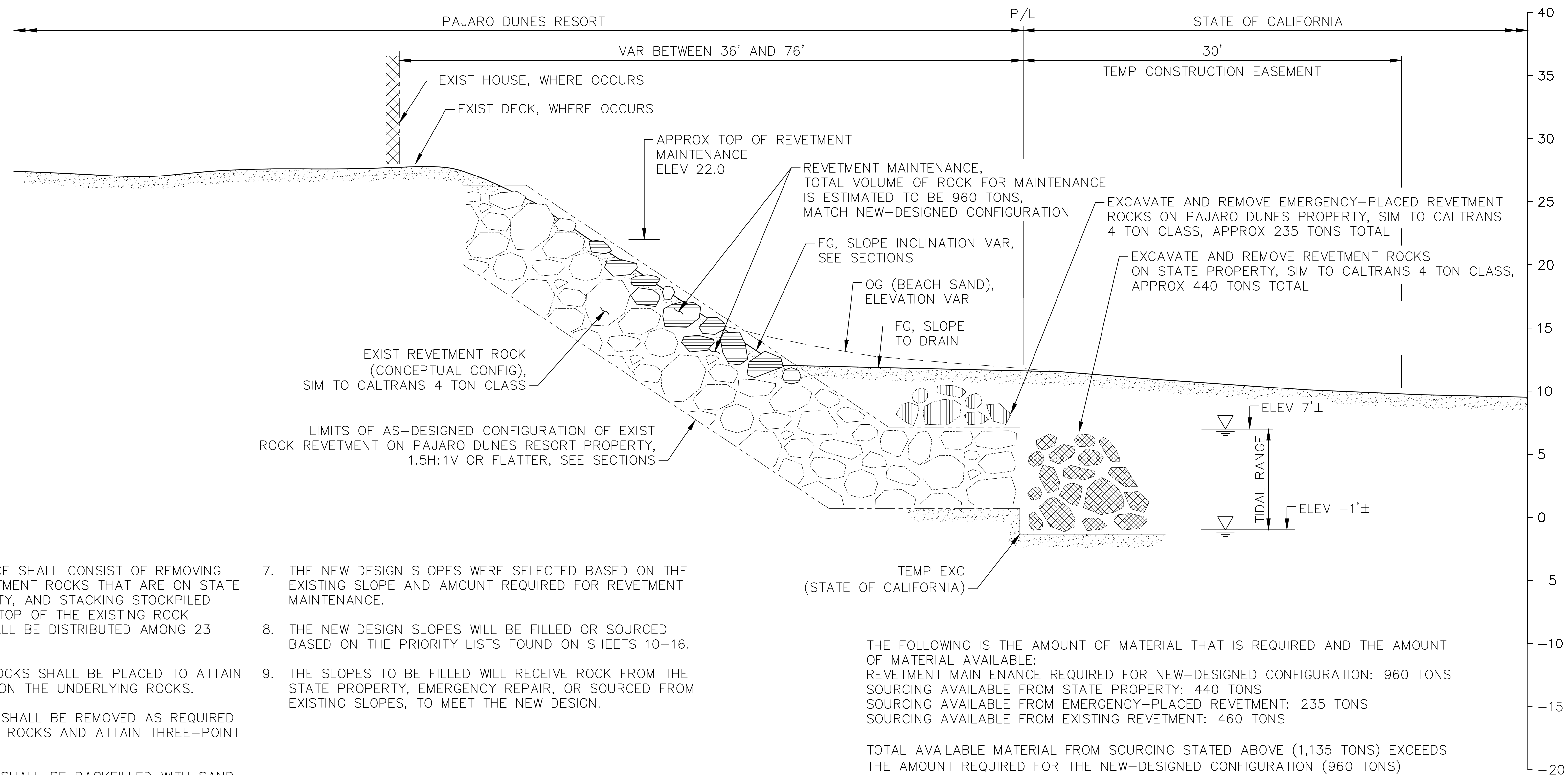
\\haley\aldrich\share\granite\2019\190782-PajaroDunesGHAD-O&M\AutoCAD - Plan Set\Sheets\01-TITLE-SHEET.dwg 8-29-23 12:26:18 PM crodl

**100% SUBMITTAL  
NOT FOR CONSTRUCTION  
AUGUST 2023**

		785 Ygnacio Valley Road Walnut Creek, CA 94596 Phone: (925) 935-9771		<b>PAJARO DUNES GHAD</b>	
				ROCK REVETMENT MAINTENANCE PAJARO DUNES RESORT, WATSONVILLE, CALIFORNIA <b>TITLE SHEET</b>	
DESIGNED C. HOCKETT	DRAWN K. DROZYNSKA	CHECKED D. PELUSO	PROJECT NO. 190780	DATE AUGUST 29, 2023	SHEET NO. OF 1 16



\\haleyaldrich\share\granite\2019\190782-PajaroDunesGHAD-O&M\AutoCAD - Plan Set\Sheets\02-TYPICAL-SECTION.dwg 8-29-23 12:26:35 PM crodil

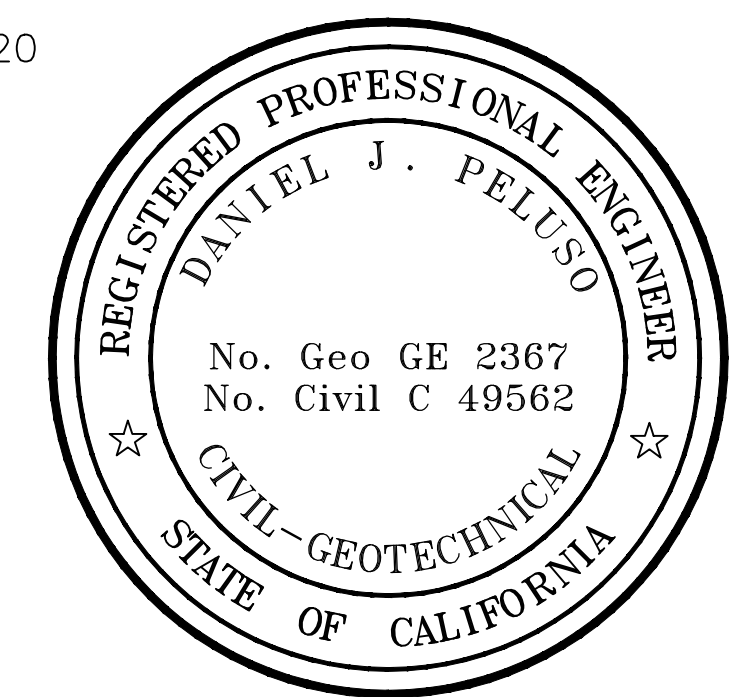


**NOTES**

1. REVETMENT MAINTENANCE SHALL CONSIST OF REMOVING AND STOCKPILING REVETMENT ROCKS THAT ARE ON STATE OF CALIFORNIA PROPERTY, AND STACKING STOCKPILED REVETMENT ROCKS ON TOP OF THE EXISTING ROCK REVETMENT. ROCKS SHALL BE DISTRIBUTED AMONG 23 PARCELS.
2. STACKED REVETMENT ROCKS SHALL BE PLACED TO ATTAIN THREE-POINT BEARING ON THE UNDERLYING ROCKS.
3. VEGETATION AND SAND SHALL BE REMOVED AS REQUIRED TO EXPOSE UNDERLYING ROCKS AND ATTAIN THREE-POINT BEARING PLACEMENT.
4. VOIDS BETWEEN ROCKS SHALL BE BACKFILLED WITH SAND TO THE FINISHED GRADE LINES SHOWN.
5. SHOP DRAWINGS AND CALCULATIONS FOR CONTRACTOR-DESIGNED SHORING SHALL BE PROVIDED TO THE ENGINEER FOR REVIEW A MINIMUM OF TWO WEEKS IN ADVANCE OF CONSTRUCTION. THE SHOP DRAWINGS AND CALCULATIONS SHALL BE SIGNED AND STAMPED BY A PROFESSIONAL CIVIL ENGINEER REGISTERED IN THE STATE OF CALIFORNIA. THE SHOP DRAWINGS SHOULD DESCRIBE HOW THE SHORING WILL PROTECT THE EXISTING REVETMENT DURING SAND EXCAVATION.
6. NEW REVETMENT DESIGN SLOPES FOUND IN CROSS-SECTIONS (SHEETS 10-16) ARE BASED OFF OF THE ORIGINAL DESIGN BY ROGERS E. JOHNSON & ASSOCIATES (1986) AND THE EMERGENCY REPAIR BY HARO, KASUNICH & ASSOCIATES (2003). SEE ATTACHED DOCUMENTS.
7. THE NEW DESIGN SLOPES WERE SELECTED BASED ON THE EXISTING SLOPE AND AMOUNT REQUIRED FOR REVETMENT MAINTENANCE.
8. THE NEW DESIGN SLOPES WILL BE FILLED OR SOURCED BASED ON THE PRIORITY LISTS FOUND ON SHEETS 10-16.
9. THE SLOPES TO BE FILLED WILL RECEIVE ROCK FROM THE STATE PROPERTY, EMERGENCY REPAIR, OR SOURCED FROM EXISTING SLOPES, TO MEET THE NEW DESIGN.

THE FOLLOWING IS THE AMOUNT OF MATERIAL THAT IS REQUIRED AND THE AMOUNT OF MATERIAL AVAILABLE:  
 REVETMENT MAINTENANCE REQUIRED FOR NEW-DESIGNED CONFIGURATION: 960 TONS  
 SOURCING AVAILABLE FROM STATE PROPERTY: 440 TONS  
 SOURCING AVAILABLE FROM EMERGENCY-PLACED REVETMENT: 235 TONS  
 SOURCING AVAILABLE FROM EXISTING REVETMENT: 460 TONS  
 TOTAL AVAILABLE MATERIAL FROM SOURCING STATED ABOVE (1,135 TONS) EXCEEDS THE AMOUNT REQUIRED FOR THE NEW-DESIGNED CONFIGURATION (960 TONS)

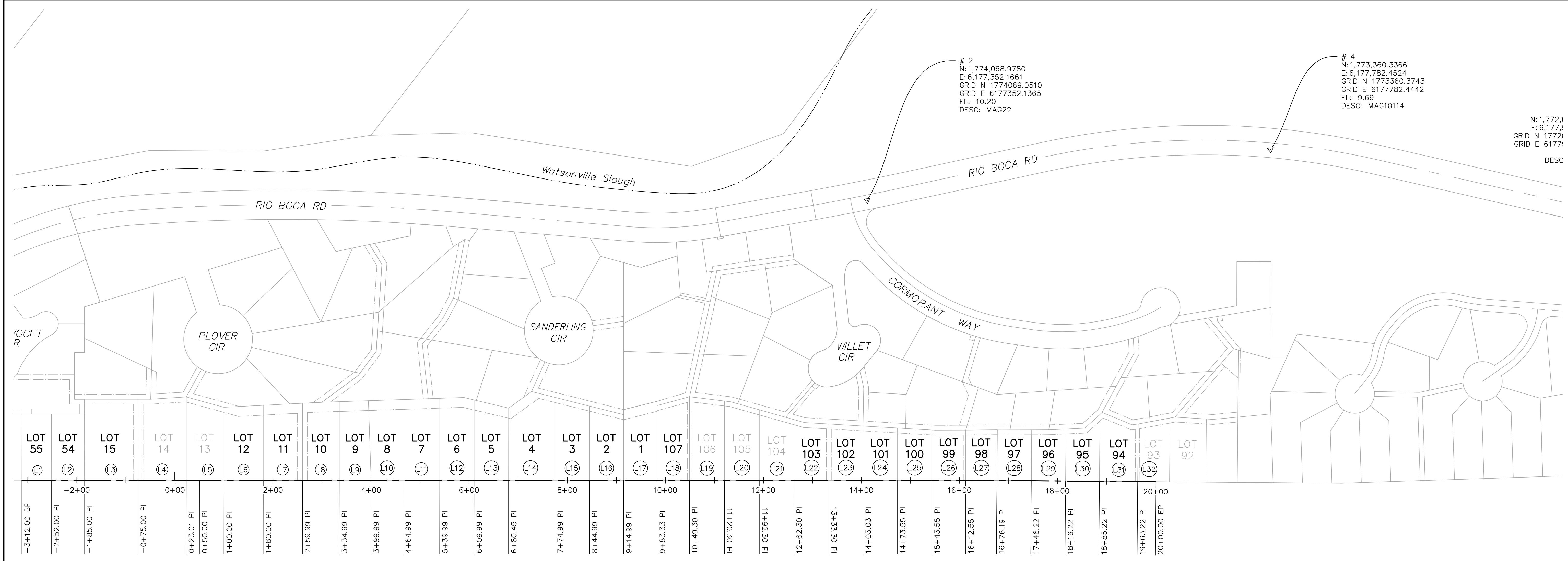
**100% SUBMITTAL  
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AUGUST 2023**



 A division of Haley & Aldrich		785 Ygnacio Valley Road Walnut Creek, CA 94596 Phone: (925) 935-9771		<b>PAJARO DUNES GHAD</b> ROCK REVETMENT MAINTENANCE PAJARO DUNES RESORT, WATSONVILLE, CALIFORNIA TYPICAL SECTION	
		DESIGNED C. HOCKETT	DRAWN K. DROZYNSKA	CHECKED D. PELUSO	PROJECT NO. 190780



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# 2  
 N: 1,774,068.9780  
 E: 6,177,352.1661  
 GRID N 1774069.0510  
 GRID E 6177352.1365  
 EL: 10.20  
 DESC: MAG22

# 4  
 N: 1,773,360.3366  
 E: 6,177,782.4524  
 GRID N 1773360.3743  
 GRID E 6177782.4442  
 EL: 9.69  
 DESC: MAG10114

N: 1,772,1  
 E: 6,177,1  
 GRID N 17721  
 GRID E 61771  
 DESC

LOT	STATIONING	PI
LOT 55	-3+12.00	BP
LOT 54	-2+52.00	PI
LOT 15	-1+85.00	PI
LOT 14	-0+75.00	PI
LOT 13	0+23.01	PI
LOT 13	0+50.00	PI
LOT 12	1+00.00	PI
LOT 11	1+80.00	PI
LOT 10	2+59.99	PI
LOT 9	3+34.99	PI
LOT 8	3+99.99	PI
LOT 7	4+64.99	PI
LOT 6	5+39.99	PI
LOT 5	6+09.99	PI
LOT 4	6+80.45	PI
LOT 3	7+74.99	PI
LOT 2	8+44.99	PI
LOT 1	9+14.99	PI
LOT 107	9+83.33	PI
LOT 106	10+49.30	PI
LOT 105	11+20.30	PI
LOT 104	11+05.26	PI
LOT 103	12+62.30	PI
LOT 102	13+33.30	PI
LOT 101	14+03.03	PI
LOT 100	14+73.55	PI
LOT 99	15+43.55	PI
LOT 98	16+12.55	PI
LOT 97	16+76.19	PI
LOT 96	17+46.22	PI
LOT 95	18+16.22	PI
LOT 94	18+85.22	PI
LOT 93	19+63.22	PI
LOT 92	20+00.00	EP

LAYOUT LINE (LOL)					
SEGMENT	LENGTH	BEARING	START STATION	START NORTHING	START EASTING
L1	60.00'	S24°05'08"E	-3+12.00	1775409.28	6176127.69
L2	67.00'	S24°05'08"E	-2+52.00	1775354.50	6176152.18
L3	110.00'	S24°05'08"E	-1+85.00	1775293.33	6176179.52
L4	98.01'	S24°05'08"E	-0+75.00	1775192.91	6176224.41
L5	50.00'	S24°05'08"E	0+50.00	1775078.79	6176275.42
L6	80.00'	S24°05'08"E	1+00.00	1775033.14	6176295.83
L7	79.99'	S24°05'08"E	1+80.00	1774960.10	6176328.48
L8	75.00'	S24°05'08"E	2+59.99	1774887.08	6176361.12
L9	65.00'	S24°05'08"E	3+34.99	1774818.61	6176391.73
L10	65.00'	S24°05'08"E	3+99.99	1774759.26	6176418.26
L11	75.00'	S24°05'08"E	4+64.99	1774699.92	6176444.78
L12	70.00'	S24°05'08"E	5+39.99	1774631.45	6176475.39
L13	70.46'	S24°05'08"E	6+09.99	1774567.55	6176503.96
L14	94.54'	S24°05'08"E	6+80.45	1774503.22	6176532.71
L15	70.00'	S24°05'08"E	7+74.99	1774416.91	6176571.29
L16	70.00'	S24°05'08"E	8+44.99	1774353.01	6176599.86

LAYOUT LINE (LOL)					
SEGMENT	LENGTH	BEARING	START STATION	START NORTHING	START EASTING
L17	68.34'	S24°05'08"E	9+14.99	1774289.10	6176628.43
L18	65.97'	S24°01'29"E	9+83.33	1774226.71	6176656.32
L19	71.00'	S24°05'59"E	10+49.30	1774166.46	6176683.18
L20	72.00'	S24°07'38"E	11+20.30	1774101.65	6176712.17
L21	70.00'	S24°03'31"E	11+92.30	1774035.94	6176741.60
L22	71.00'	S24°06'43"E	12+62.30	1773972.02	6176770.13
L23	69.73'	S24°05'08"E	13+33.30	1773907.21	6176799.14
L24	70.52'	S24°05'08"E	14+03.03	1773843.55	6176827.60
L25	70.00'	S24°05'08"E	14+73.55	1773779.17	6176856.38
L26	69.00'	S24°05'08"E	15+43.55	1773715.27	6176884.94
L27	63.64'	S23°40'04"E	16+12.55	1773652.27	6176913.10
L28	70.02'	S23°40'04"E	16+76.19	1773593.99	6176938.65
L29	70.00'	S23°39'18"E	17+46.22	1773529.85	6176966.76
L30	69.00'	S23°39'18"E	18+16.22	1773465.74	6176994.84
L31	78.00'	S23°39'18"E	18+85.22	1773402.53	6177022.53
L32	36.78'	S23°39'18"E	19+63.22	1773331.09	6177053.82

**LEGEND**  
 Δ BENCHMARK  
 — PROPERTY LINE  
 - - - EASEMENT

**UAV DATA REFERENCE**  
 1. CONTOURS CALCULATED FROM PHOTOGRAMMETRICALLY-DERIVED DIGITAL ELEVATION MODEL, UAV FLIGHT PERFORMED ON 18 NOVEMBER 2019.  
 2. HIGH RESOLUTION ORTHOIMAGERY CAPTURED BY CE&G ON 18 NOVEMBER 2019.  
 HORIZONTAL DATUM: COORDINATES ARE APPROXIMATE TO NAD83 CALIFORNIA ZONE 3 VALUES.  
 VERTICAL DATUM: NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88)



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 AUGUST 2023**

 A division of Haley & Aldrich	785 Ygnacio Valley Road Walnut Creek, CA 94596 Phone: (925) 935-9771		<b>PAJARO DUNES GHAD</b> ROCK REVETMENT MAINTENANCE PAJARO DUNES RESORT, WATSONVILLE, CALIFORNIA PROJECT CONTROL	
	DESIGNED C. HOCKETT	DRAWN K. DROZYNSKA	CHECKED D. PELUSO	PROJECT NO. 190780
			SHEET NO. 3	OF 16



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**NOTES**

1. VEHICULAR ACCESS TO THE BEACH SHALL BE LIMITED TO THE PRIMARY AND SECONDARY VEHICULAR ACCESS ROUTES SHOWN. BEACH ACCESS FROM THE PARKING AREAS ALONG RIO BOCA ROAD SHALL BE LIMITED TO PEDESTRIANS ONLY.

**LEGEND**

- SITE ACCESS
- POTENTIAL STAGING AREA (PARKING LOT), PEDESTRIAN ACCESS ONLY
- POTENTIAL STAGING AREA (UNDEVELOPED)

**100% SUBMITTAL  
NOT FOR CONSTRUCTION  
AUGUST 2023**

**TEMPORARY CONSTRUCTION EASEMENT**

POINT TABLE		
#	NORTHING	EASTING
#1	1773297.39	6177068.58
#2	1773285.36	6177041.10
#3	1775020.90	6176268.44
#4	1775024.98	6176277.57
#5	1777588.94	6175128.90
#6	1777600.92	6175145.45

**BASEMAP REFERENCE**

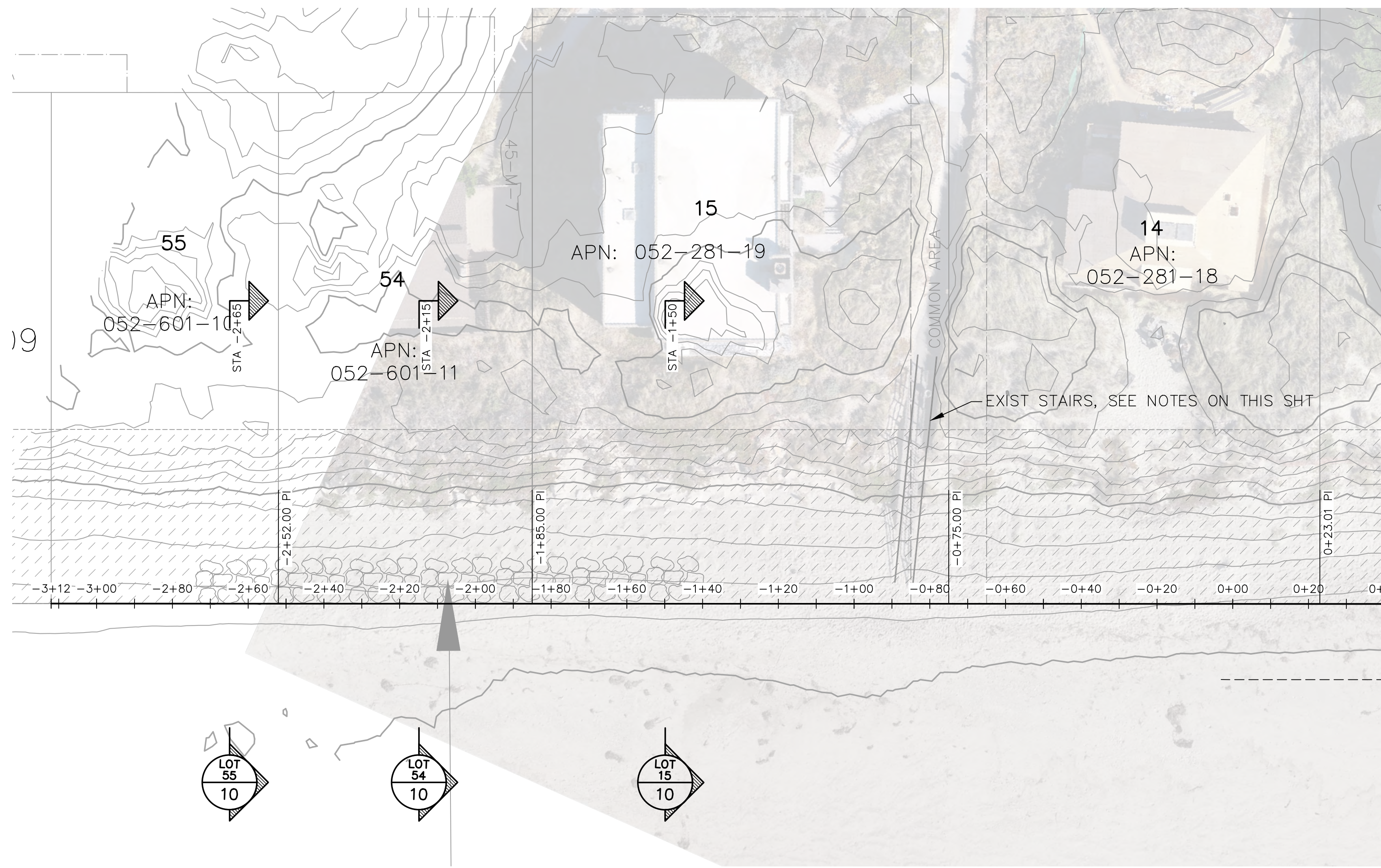
1. ORTHOIMAGERY FROM SANTA CRUZ COUNTY, 2016.

785 Ygnacio Valley Road  
Walnut Creek, CA 94596  
Phone: (925) 935-9771

DESIGNED C. HOCKETT	DRAWN K. DROZYNSKA	CHECKED D. PELUSO	PROJECT NO. 190780	DATE AUGUST 29, 2023	SHEET NO. OF 4 OF 16
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MATCH LINE STA 0+40, SEE SHEET 6

**NOTES**

1. THE REVETMENT MAINTENANCE SHALL EXTEND BELOW THE EXISTING STAIRS.
2. THE CONTRACTOR MAY ELECT TO REMOVE PORTIONS OF STAIRS BEFORE CONSTRUCTION. STAIRS REMOVED BEFORE CONSTRUCTION OR STAIRS THAT ARE DAMAGED DURING CONSTRUCTION SHALL BE REPLACED IN KIND WITH NEW MATERIALS AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS AND CALCULATIONS FOR THE PORTIONS OF THE STAIRS THAT ARE REPAIRED OR REPLACED. THE SHOP DRAWINGS AND CALCULATIONS SHALL BE SIGNED AND STAMPED BY A CIVIL ENGINEER REGISTERED IN THE STATE OF CALIFORNIA.

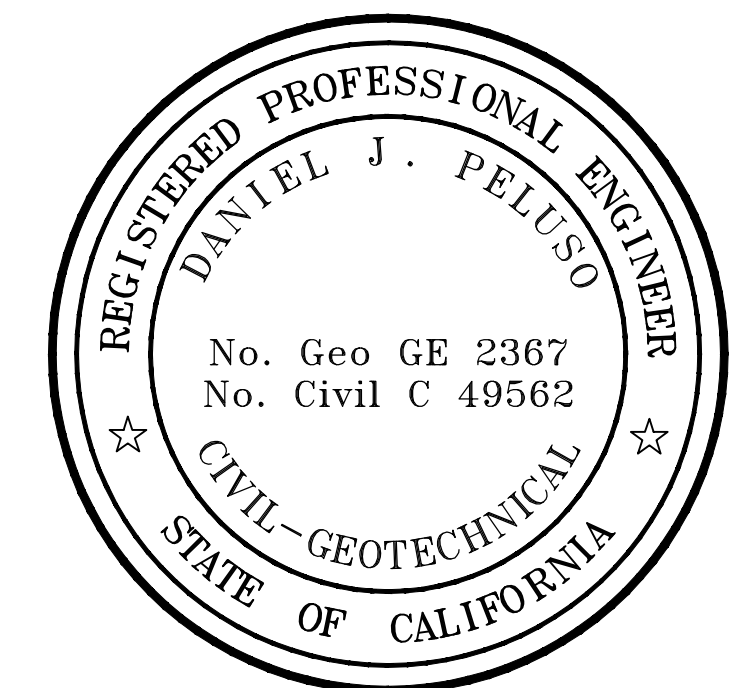
**NEW STAIR MATERIALS**

1. STRUCTURAL TIMBER AND LUMBER SHALL BE BROWN PRESSURE-TREATED DOUGLAS FIR NO. 1 OR BETTER.
2. BOLTS SHALL BE ASTM A307 GRADE A. NUTS SHALL BE AMERICAN STANDARD HEAVY, SEMI-FINISHED HEXAGON TAPPED, UNC THREAD SERIES, CLASS 2B. WASHERS SHALL BE OVERSIZED. ALL PARTS SHALL BE HOT-DIP GALVANIZED PER ASTM A153 CLASS C.
3. BOLT HOLES SHALL BE AT LEAST A MINIMUM OF 1/32" AND NO MORE THAN A MAXIMUM OF 1/16" LARGER THAN THE BOLT DIAMETER.
4. ALL NAILS SHALL BE 16d HOT-DIP GALVANIZED. PNEUMATIC NAILING SHALL NOT BE PERMITTED.
5. ALL HARDWARE SHALL BE GALVANIZED AND SHALL MEET ASTM A653 BY THE HOT-DIP PROCESS, G-185 COATING.

**EMERGENCY-PLACED ROCK**

THE KNOWN LOCATIONS OF THE BURIED EMERGENCY-PLACED ROCK ARE IN THE FOLLOWINGS LOCATIONS:

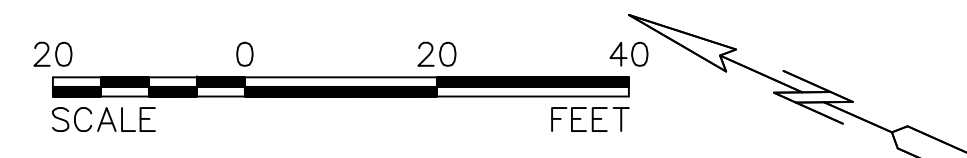
1. ON STATE PARKS PROPERTY IN FRONT OF THE REVETMENT TOE ADJACENT TO LOTS 98, 99, 100, AND 103. TOTAL OF APPROX 440 TONS.
2. ON PAJARO DUNES PROPERTY OVERLYING THE ROCK REVETMENT TOE ON LOTS 15, 54, 55, 103, AND 104. TOTAL OF APPROX 235 TONS.



**LEGEND**

	REVETMENT MAINTENANCE
	EXISTING RSP
	EXISTING RSP, BURRIED

**100% SUBMITTAL  
NOT FOR CONSTRUCTION  
AUGUST 2023**



NO.	REVISION DESCRIPTION	INI	M/D/YEAR

785 Ygnacio Valley Road  
Walnut Creek, CA 94596  
Phone: (925) 935-9771

DESIGNED C. HOCKETT	DRAWN K. DROZYNSKA	CHECKED D. PELUSO
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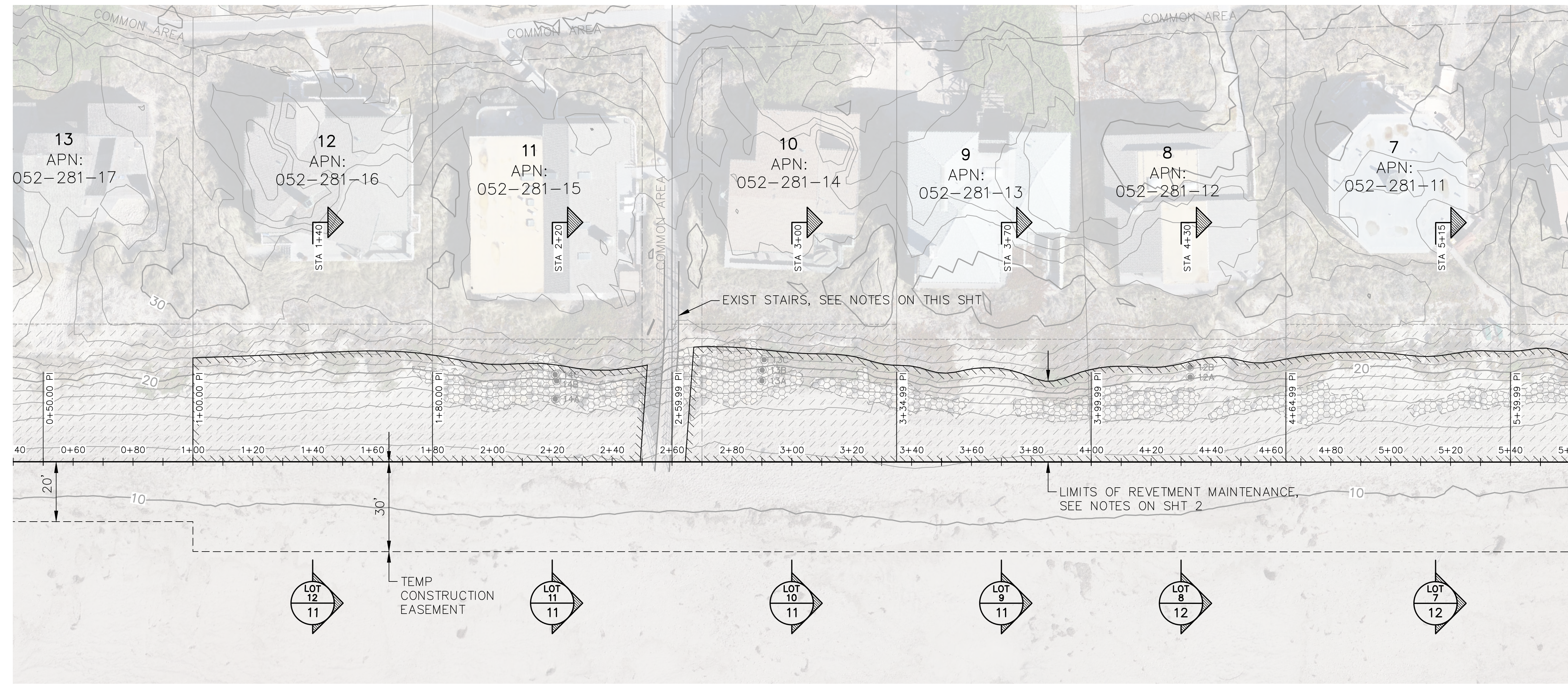
<b>PAJARO DUNES GHAD</b>			
ROCK REVETMENT MAINTENANCE PAJARO DUNES RESORT, WATSONVILLE, CALIFORNIA SITE PLAN (1 OF 5)			
PROJECT NO. 190780	DATE AUGUST 29, 2023	SHEET NO. 5	OF 16



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MATCH LINE STA 0+40, SEE SHEET 5

MATCH LINE STA 5+60, SEE SHEET 7



**NOTES**

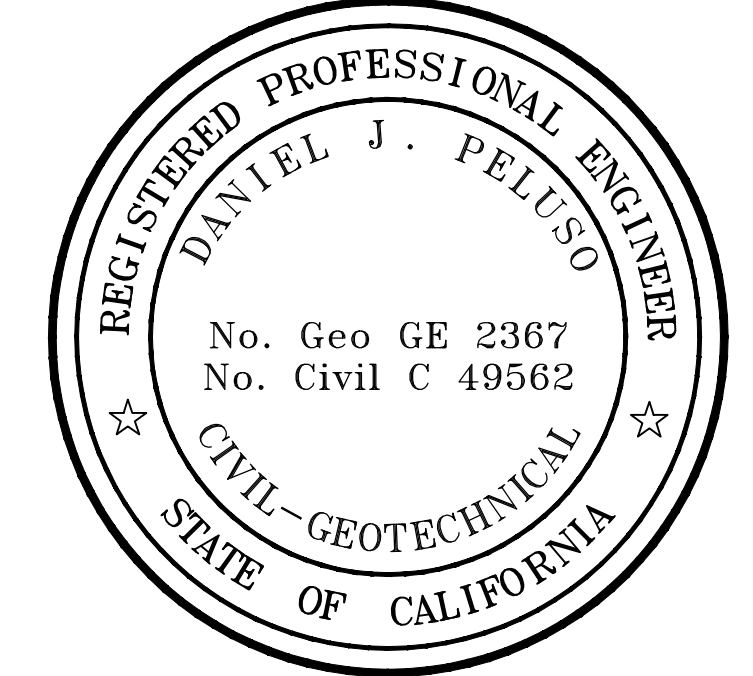
1. THE REVETMENT MAINTENANCE SHALL EXTEND BELOW THE EXISTING STAIRS.
2. THE CONTRACTOR MAY ELECT TO REMOVE PORTIONS OF STAIRS BEFORE CONSTRUCTION. STAIRS REMOVED BEFORE CONSTRUCTION OR STAIRS THAT ARE DAMAGED DURING CONSTRUCTION SHALL BE REPLACED IN KIND WITH NEW MATERIALS AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS AND CALCULATIONS FOR THE PORTIONS OF THE STAIRS THAT ARE REPAIRED OR REPLACED. THE SHOP DRAWINGS AND CALCULATIONS SHALL BE SIGNED AND STAMPED BY A CIVIL ENGINEER REGISTERED IN THE STATE OF CALIFORNIA.

**NEW STAIR MATERIALS**

1. STRUCTURAL TIMBER AND LUMBER SHALL BE BROWN PRESSURE-TREATED DOUGLAS FIR NO. 1 OR BETTER.
2. BOLTS SHALL BE ASTM A307 GRADE A. NUTS SHALL BE AMERICAN STANDARD HEAVY, SEMI-FINISHED HEXAGON TAPPED, UNC THREAD SERIES, CLASS 2B. WASHERS SHALL BE OVERSIZED. ALL PARTS SHALL BE HOT-DIP GALVANIZED PER ASTM A153 CLASS C.
3. BOLT HOLES SHALL BE AT LEAST A MINIMUM OF 1/32" AND NO MORE THAN A MAXIMUM OF 1/16" LARGER THAN THE BOLT DIAMETER.
4. ALL NAILS SHALL BE 16d HOT-DIP GALVANIZED. PNEUMATIC NAILING SHALL NOT BE PERMITTED.
5. ALL HARDWARE SHALL BE GALVANIZED AND SHALL MEET ASTM A653 BY THE HOT-DIP PROCESS, G-185 COATING.

**EMERGENCY-PLACED ROCK**

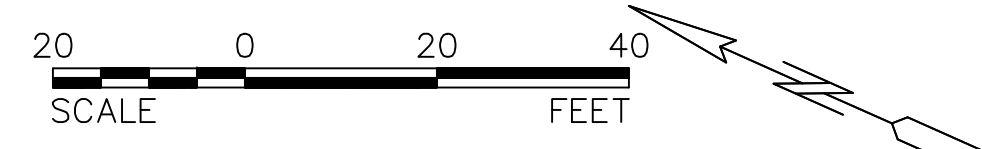
- THE KNOWN LOCATIONS OF THE BURIED EMERGENCY-PLACED ROCK ARE IN THE FOLLOWINGS LOCATIONS:
1. ON STATE PARKS PROPERTY IN FRONT OF THE REVETMENT TOE ADJACENT TO LOTS 98, 99, 100, AND 103. TOTAL OF APPROX 440 TONS.
  2. ON PAJARO DUNES PROPERTY OVERLYING THE ROCK REVETMENT TOE ON LOTS 15, 54, 55, 103, AND 104. TOTAL OF APPROX 235 TONS.



**LEGEND**

	REVETMENT MAINTENANCE
	EXISTING RSP
	EXISTING RSP, BURRIED

**100% SUBMITTAL  
NOT FOR CONSTRUCTION  
AUGUST 2023**



NO.	REVISION DESCRIPTION	INI	M/D/YEAR

**CE&G**  
A division of Haley & Aldrich

785 Ygnacio Valley Road  
Walnut Creek, CA 94596  
Phone: (925) 935-9771

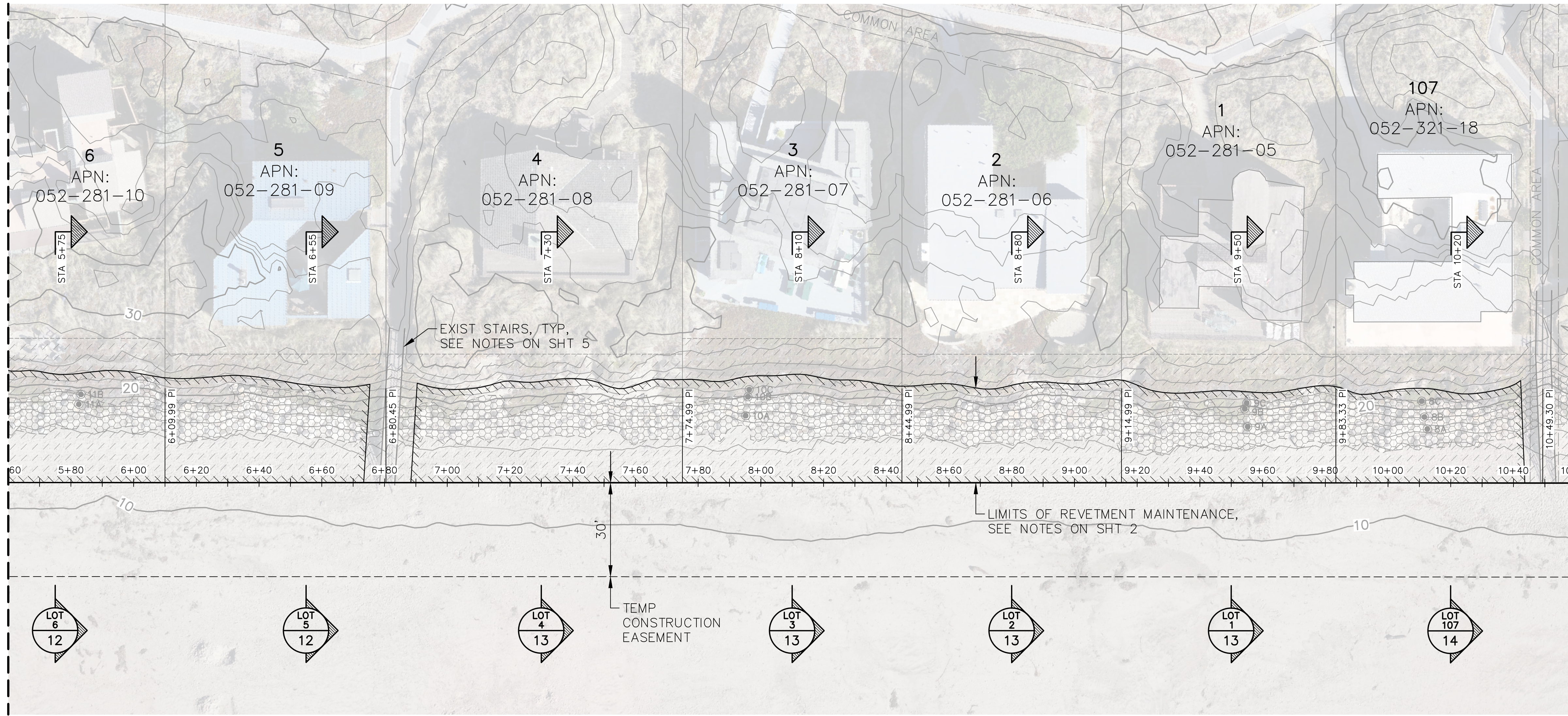
<b>PAJARO DUNES GHAD</b>			
ROCK REVETMENT MAINTENANCE PAJARO DUNES RESORT, WATSONVILLE, CALIFORNIA SITE PLAN (2 OF 5)			
PROJECT NO. 190780	DATE AUGUST 29, 2023	SHEET NO. 6	OF 16

DESIGNED C. HOCKETT	DRAWN K. DROZYNSKA	CHECKED D. PELUSO
------------------------	-----------------------	----------------------



\\haleyaldrich\share\granite\2019\190782-PajaroDunesGHAD-O&M\AutoCAD - Plan Set\Sheets\05-09-SITE-PLAN.dwg 8-29-23 12:28:18 PM crodl

MATCH LINE STA 5+60, SEE SHEET 6

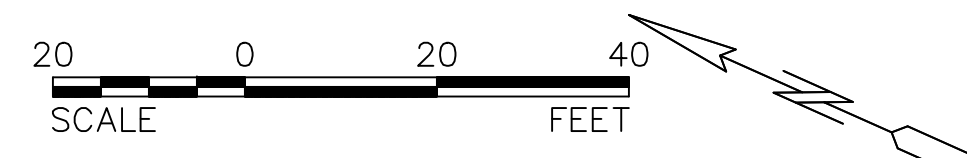


MATCH LINE STA 10+60, SEE SHEET 8

**LEGEND**

- REVETMENT MAINTENANCE
- EXISTING RSP
- EXISTING RSP, BURRIED

**100% SUBMITTAL  
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AUGUST 2023**



NO.	REVISION DESCRIPTION	INI	M/D/YEAR

785 Ygnacio Valley Road  
Walnut Creek, CA 94596  
Phone: (925) 935-9771

DESIGNED <b>C. HOCKETT</b>	DRAWN <b>K. DROZYNSKA</b>	CHECKED <b>D. PELUSO</b>
-------------------------------	------------------------------	-----------------------------

**PAJARO DUNES GHAD**

ROCK REVETMENT MAINTENANCE  
PAJARO DUNES RESORT, WATSONVILLE, CALIFORNIA  
SITE PLAN (3 OF 5)

PROJECT NO. 190780	DATE AUGUST 29, 2023	SHEET NO. OF 7 OF 16
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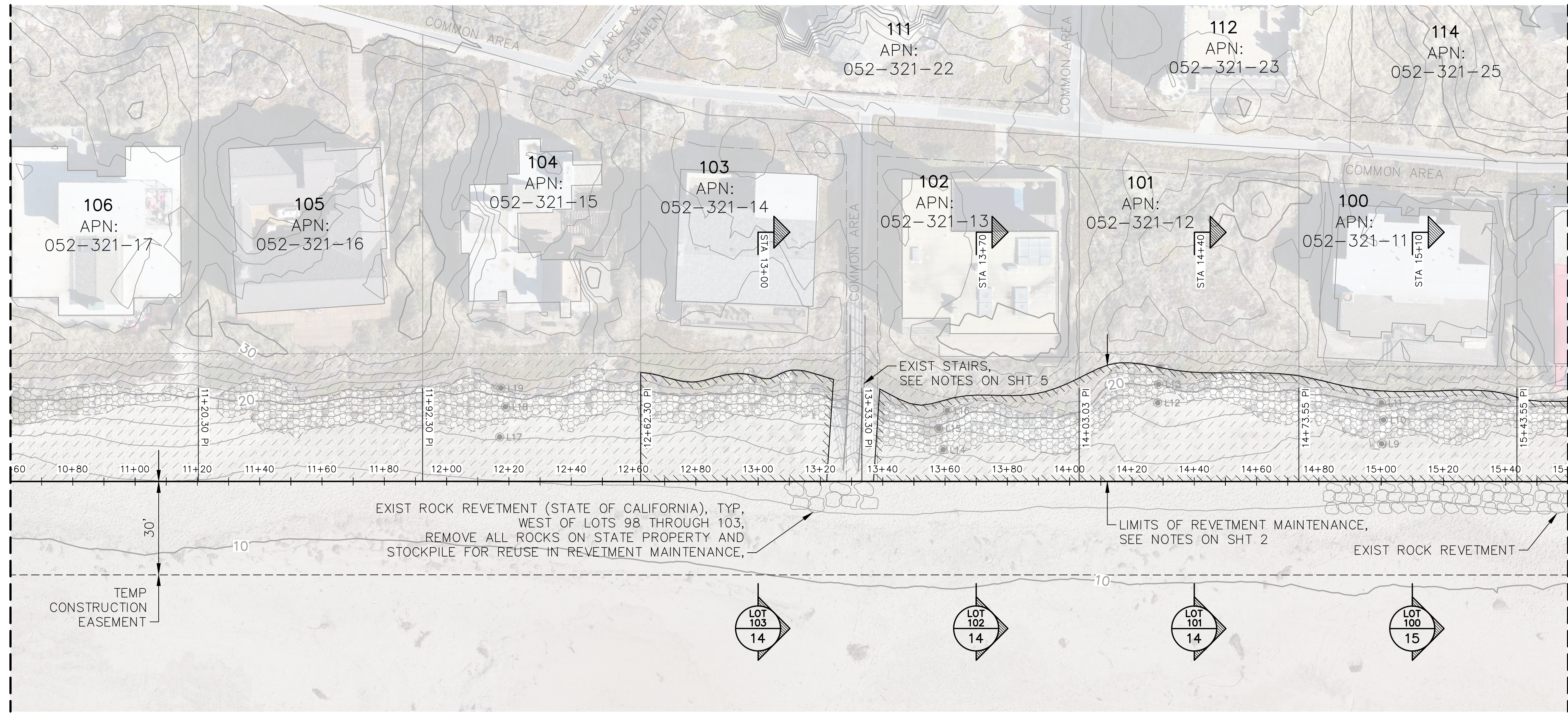




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MATCH LINE STA 10+60, SEE SHEET 7

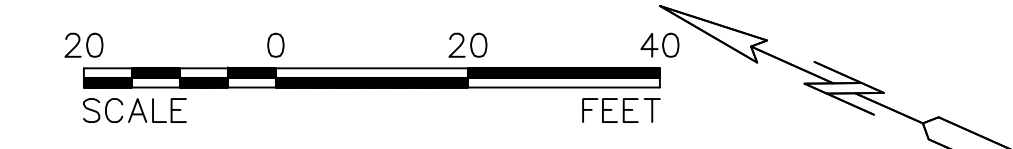
MATCH LINE STA 15+60, SEE SHEET 9



**LEGEND**

	REVETMENT MAINTENANCE
	EXISTING RSP
	EXISTING RSP, BURRIED

**100% SUBMITTAL  
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AUGUST 2023**



NO.	REVISION DESCRIPTION	BY	DATE

**CE&G**  
A division of Haley & Aldrich

785 Ygnacio Valley Road  
Walnut Creek, CA 94596  
Phone: (925) 935-9771

DESIGNED C. HOCKETT	DRAWN K. DROZYNSKA	CHECKED D. PELUSO
------------------------	-----------------------	----------------------

**PAJARO DUNES GHAD**

ROCK REVETMENT MAINTENANCE  
PAJARO DUNES RESORT, WATSONVILLE, CALIFORNIA  
SITE PLAN (4 OF 5)

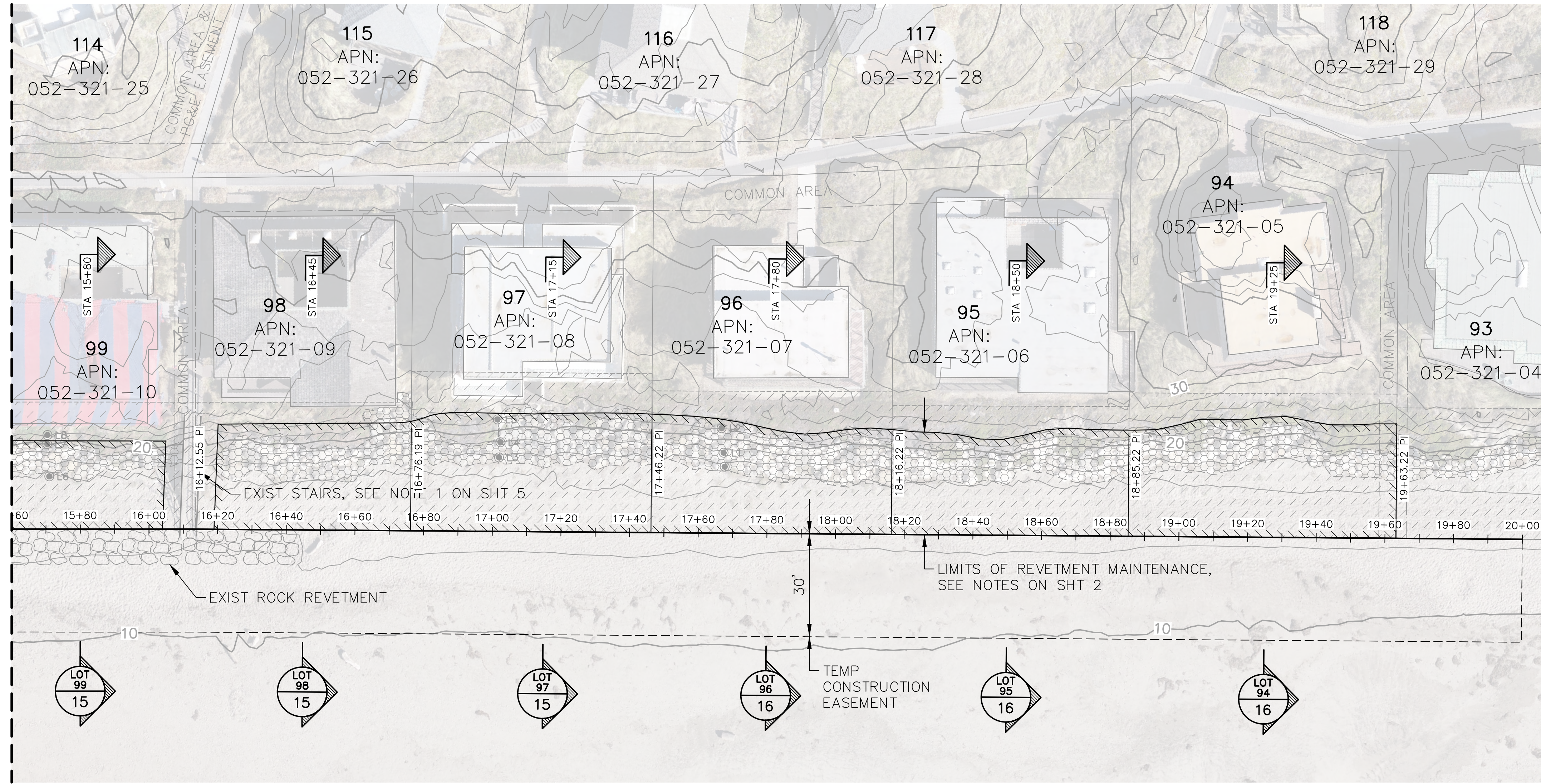
PROJECT NO. 190780	DATE AUGUST 29, 2023	SHEET NO. OF 8 OF 16
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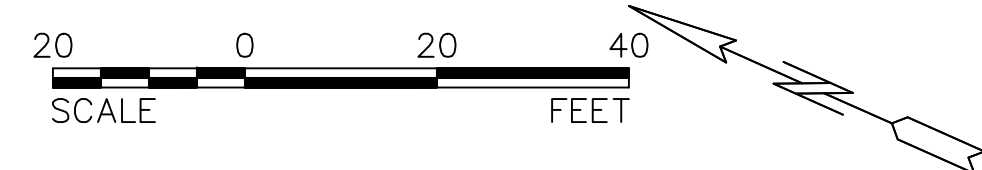
MATCH LINE STA 15+60, SEE SHEET 8



**LEGEND**

- REVETMENT MAINTENANCE
- EXISTING RSP
- EXISTING RSP, BURRIED

**100% SUBMITTAL  
NOT FOR CONSTRUCTION  
AUGUST 2023**



NO.	REVISION DESCRIPTION	INI	M/D/YEAR

**CE&G**  
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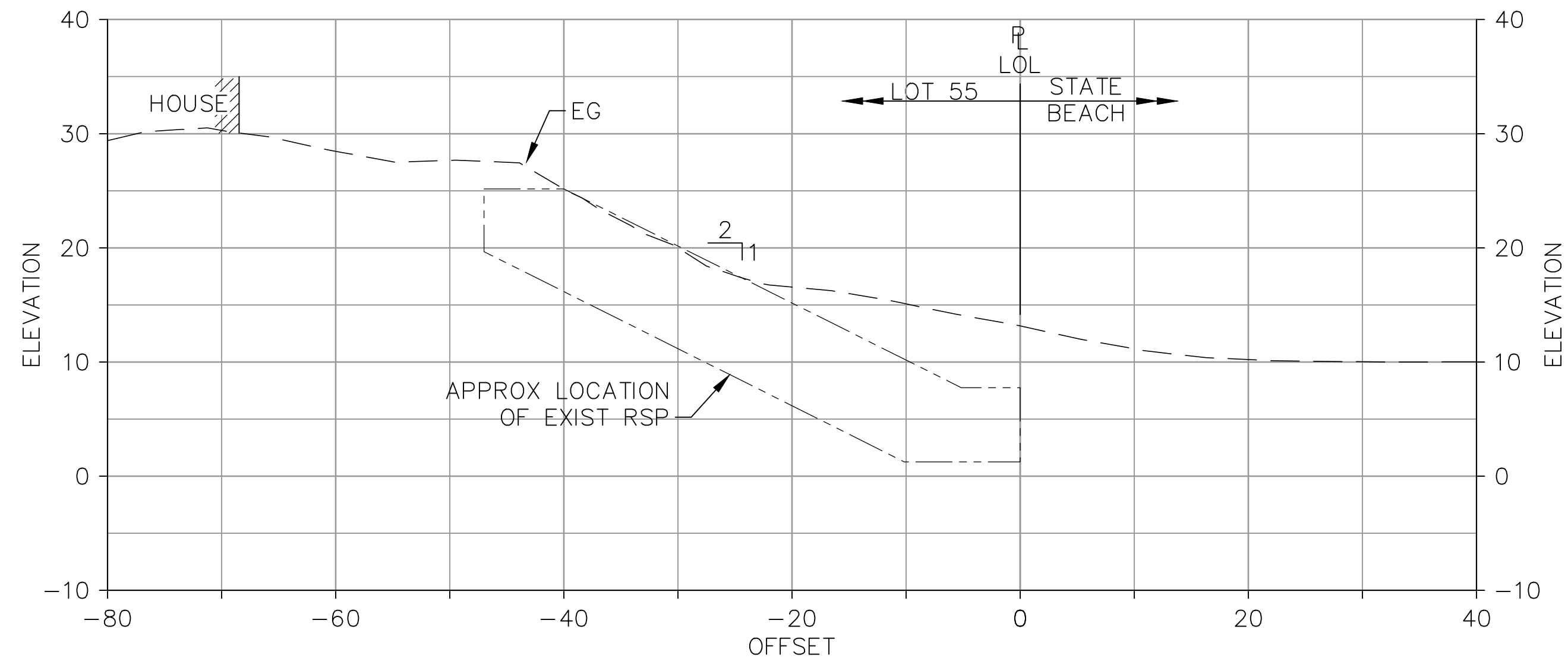
785 Ygnacio Valley Road  
Walnut Creek, CA 94596  
Phone: (925) 935-9771

<b>PAJARO DUNES GHAD</b>			
ROCK REVETMENT MAINTENANCE PAJARO DUNES RESORT, WATSONVILLE, CALIFORNIA SITE PLAN (5 OF 5)			
PROJECT NO. 190780	DATE AUGUST 29, 2023	SHEET NO. OF 9 OF 16	

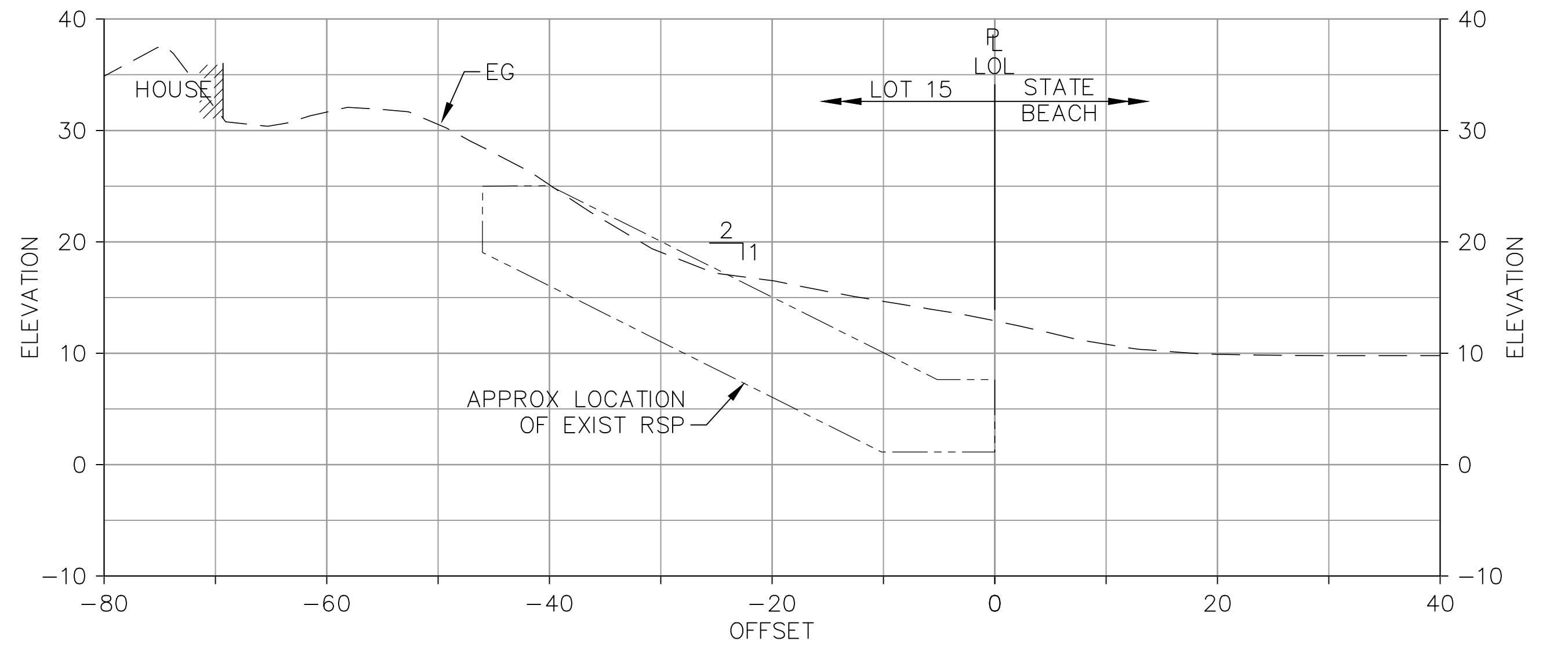




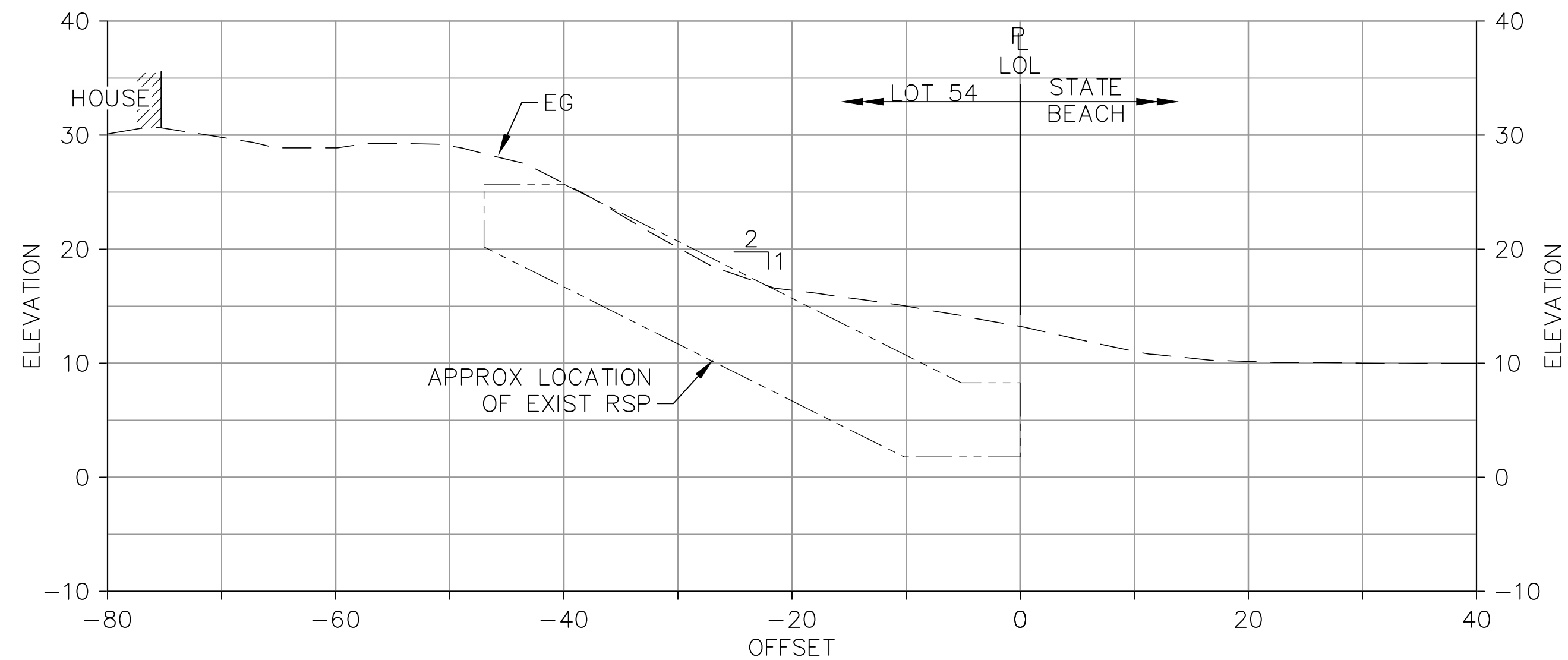
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SECTION LOT 55  
STA -2+65 5



SECTION LOT 15  
STA -1+50 5



SECTION LOT 54  
STA -2+15 5

**NOTES**

1. PROPOSED REVETMENT DESIGN SLOPE MAY BE LOWERED UP TO 24" (TYP.) BELOW THE ORIGINAL REVETMENT DESIGN SLOPE (TOWARDS LOTS) FOR SELECTED SECTIONS. CONTRACTOR MAY SOURCE THE MATERIAL REMAINING IN FRONT OF THE PROPOSED REVETMENT SLOPE, IF NEEDED. SEE SOURCING PRIORITY LIST BELOW.
2. THERE WILL BE VARIABILITY IN CROSS SECTIONS ACROSS EACH LOT

**PLACEMENT PRIORITY**

- 1ST: PROPERTIES WITH SLOPES THAT ARE 1.5:1 OR STEEPER
- 2ND: PROPERTIES WITH SLOPES THAT ARE 1.7:1 OR STEEPER
- 3RD: PROPERTIES WITH SLOPES THAT ARE 2.0:1 OR STEEPER

**SOURCING PRIORITY**

- 1ST: MATERIAL FROM STATE PROPERTY PLACED DURING EMERGENCY REPAIR (2004).
- 2ND: MATERIAL FROM PROPERTIES WITH 2.0:1 SLOPES
- 3RD: MATERIAL FROM PROPERTIES WITH 1.7:1 SLOPES
- 4TH: MATERIAL FROM PROPERTIES WITH 1.5:1 SLOPES

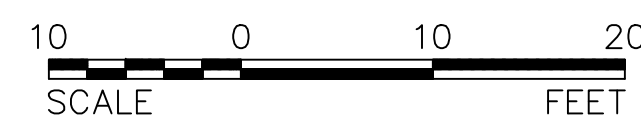
ROCK REVETMENT PLACEMENT AND SOURCING			
LOT	SLOPE	PLACEMENT (TONS)	SOURCING (TONS)
55	2.0:1	0	0
54	2.0:1	0	0
15	2.0:1	0	0

**LEGEND**

- AREAS REQUIRING ROCK PLACEMENT
- ROCK AVAILABLE FOR SOURCING

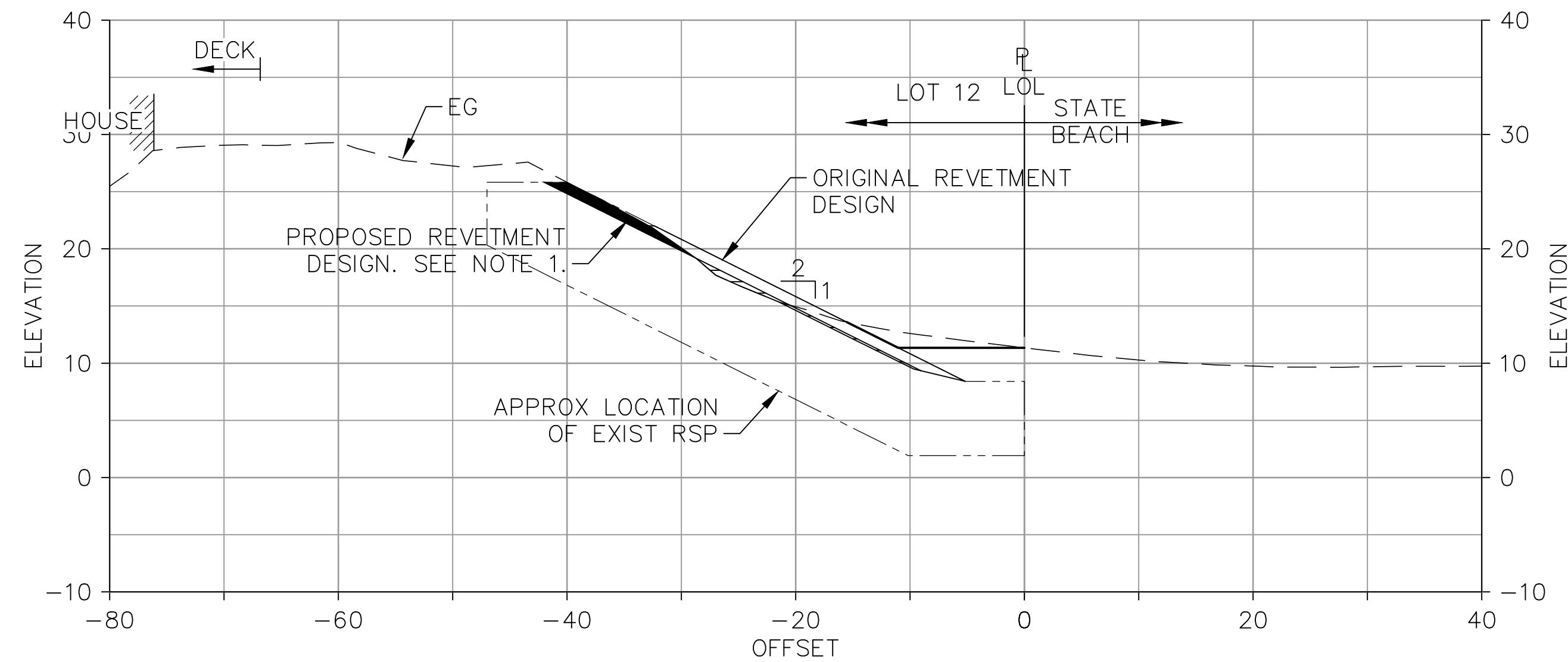


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AUGUST 2023**

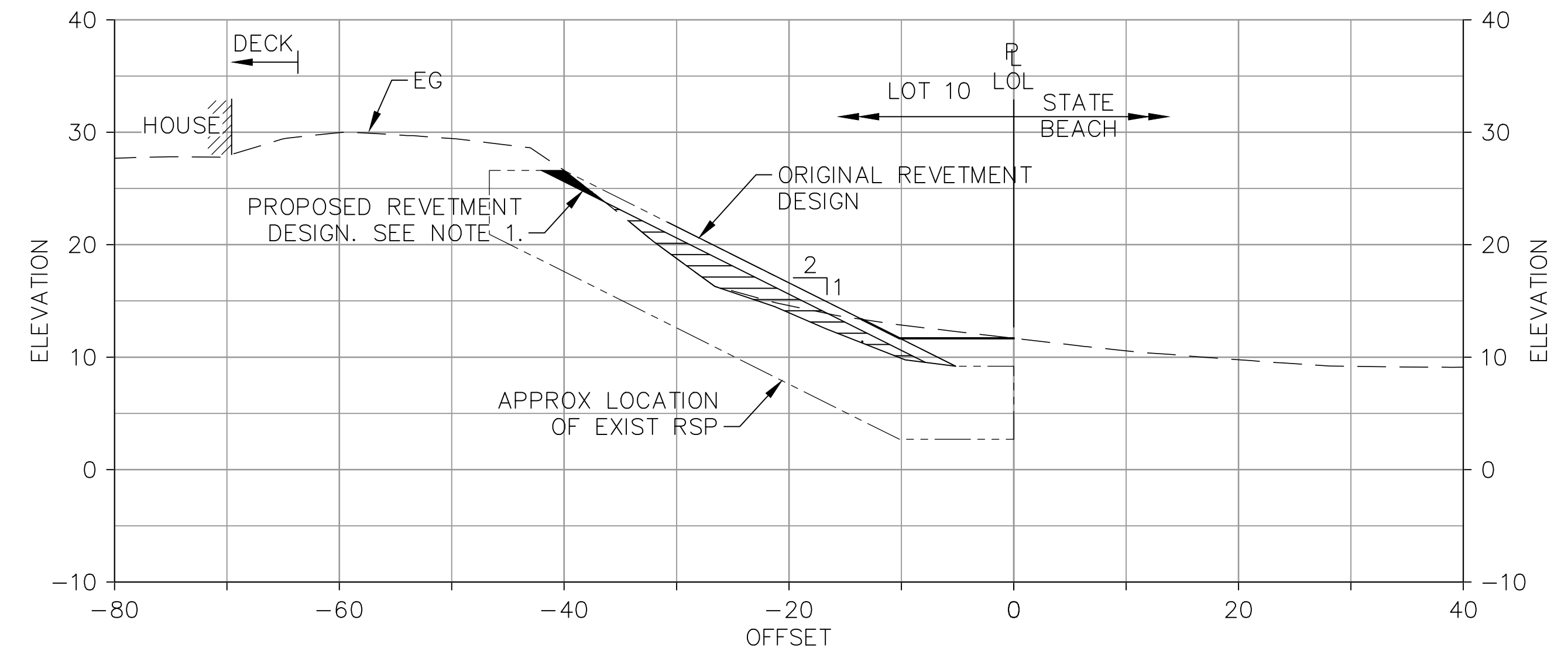


 A division of Haley & Aldrich		785 Ygnacio Valley Road Walnut Creek, CA 94596 Phone: (925) 935-9771		<b>PAJARO DUNES GHAD</b>	
		ROCK REVETMENT MAINTENANCE PAJARO DUNES RESORT, WATSONVILLE, CALIFORNIA SECTIONS (1 OF 7)			
DESIGNED	DRAWN	CHECKED	PROJECT NO.	DATE	SHEET NO. OF
C. HOCKETT	K. DROZYNSKA	D. PELUSO	190780	AUGUST 29, 2023	10 OF 16

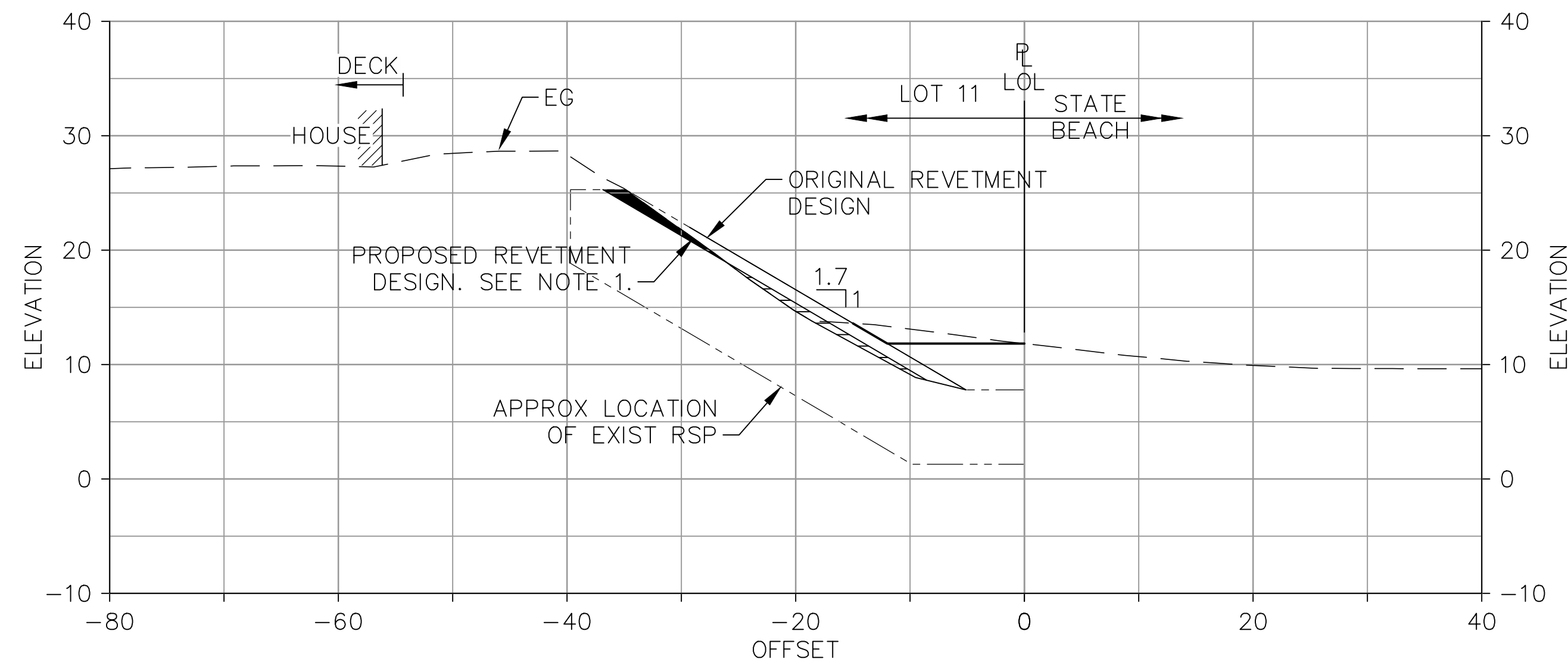
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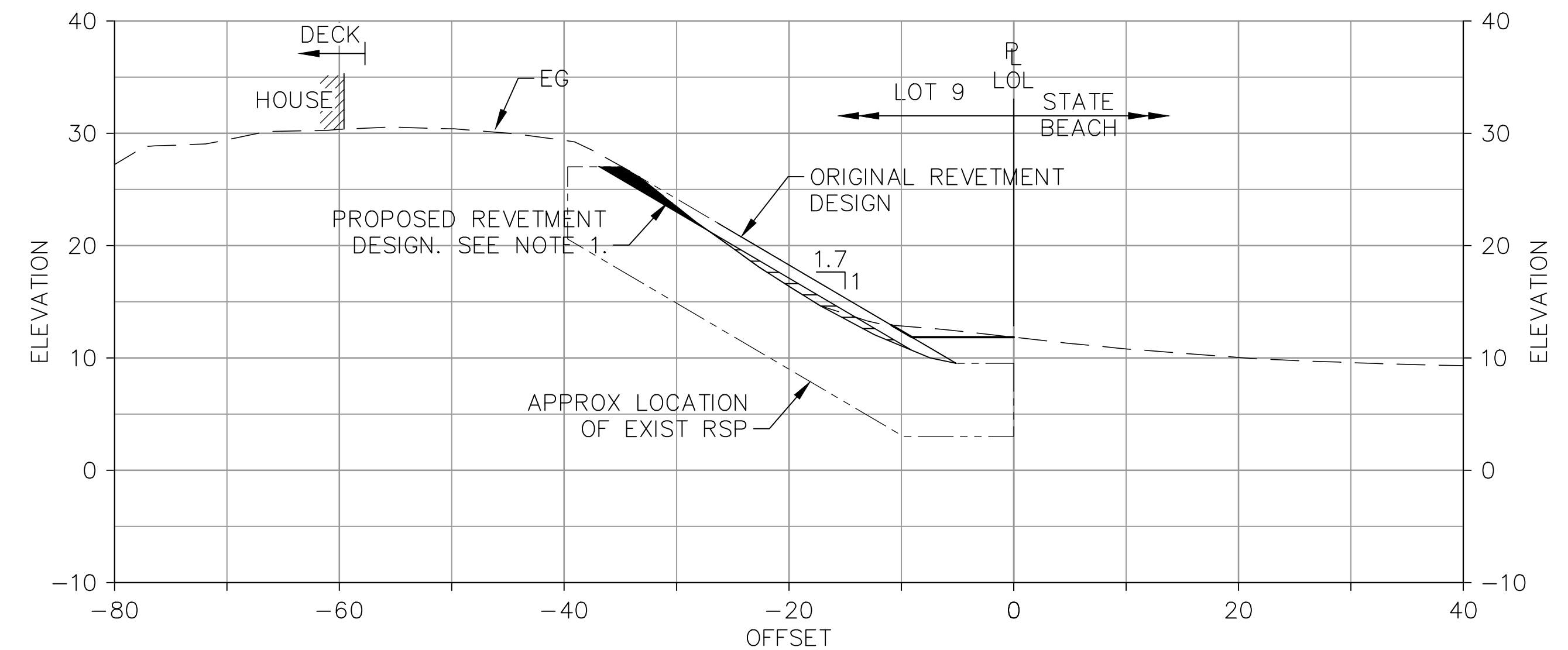
SECTION LOT 12  
STA 1+40 6



SECTION LOT 10  
STA 3+00 6



SECTION LOT 11  
STA 2+20 6



SECTION LOT 9  
STA 3+70 6

**NOTES**

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2. THERE WILL BE VARIABILITY IN CROSS SECTIONS ACROSS EACH LOT

**PLACEMENT PRIORITY**

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- 2ND: PROPERTIES WITH SLOPES THAT ARE 1.7:1 OR STEEPER
- 3RD: PROPERTIES WITH SLOPES THAT ARE 2.0:1 OR STEEPER

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- 3RD: MATERIAL FROM PROPERTIES WITH 1.7:1 SLOPES
- 4TH: MATERIAL FROM PROPERTIES WITH 1.5:1 SLOPES

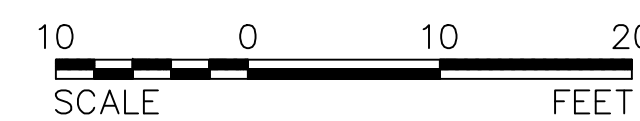
ROCK REVETMENT PLACEMENT AND SOURCING			
LOT	SLOPE	PLACEMENT (TONS)	SOURCING (TONS)
12	2.0:1	22	37
11	1.7:1	34	26
10	2.0:1	152	11
9	1.7:1	31	21

**LEGEND**

- AREAS REQUIRING ROCK PLACEMENT
- ROCK AVAILABLE FOR SOURCING



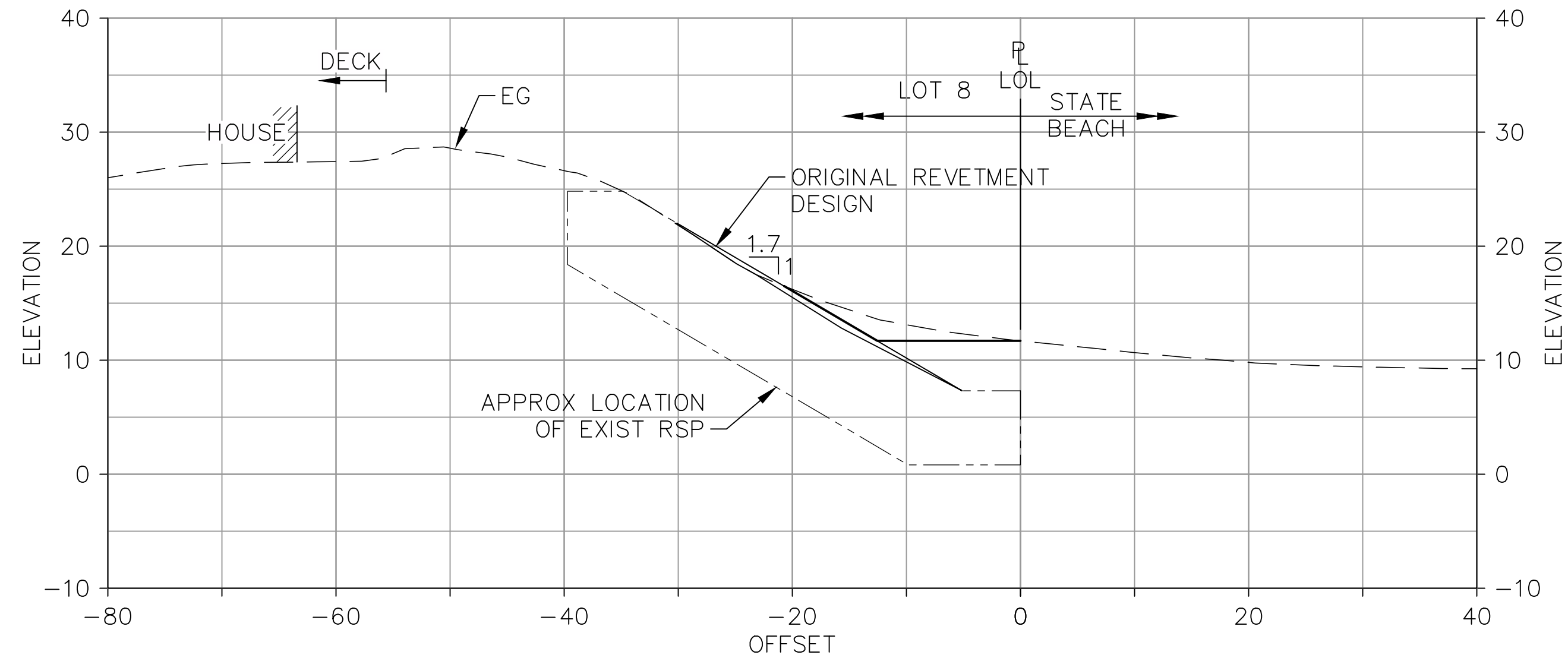
**100% SUBMITTAL  
NOT FOR CONSTRUCTION  
AUGUST 2023**



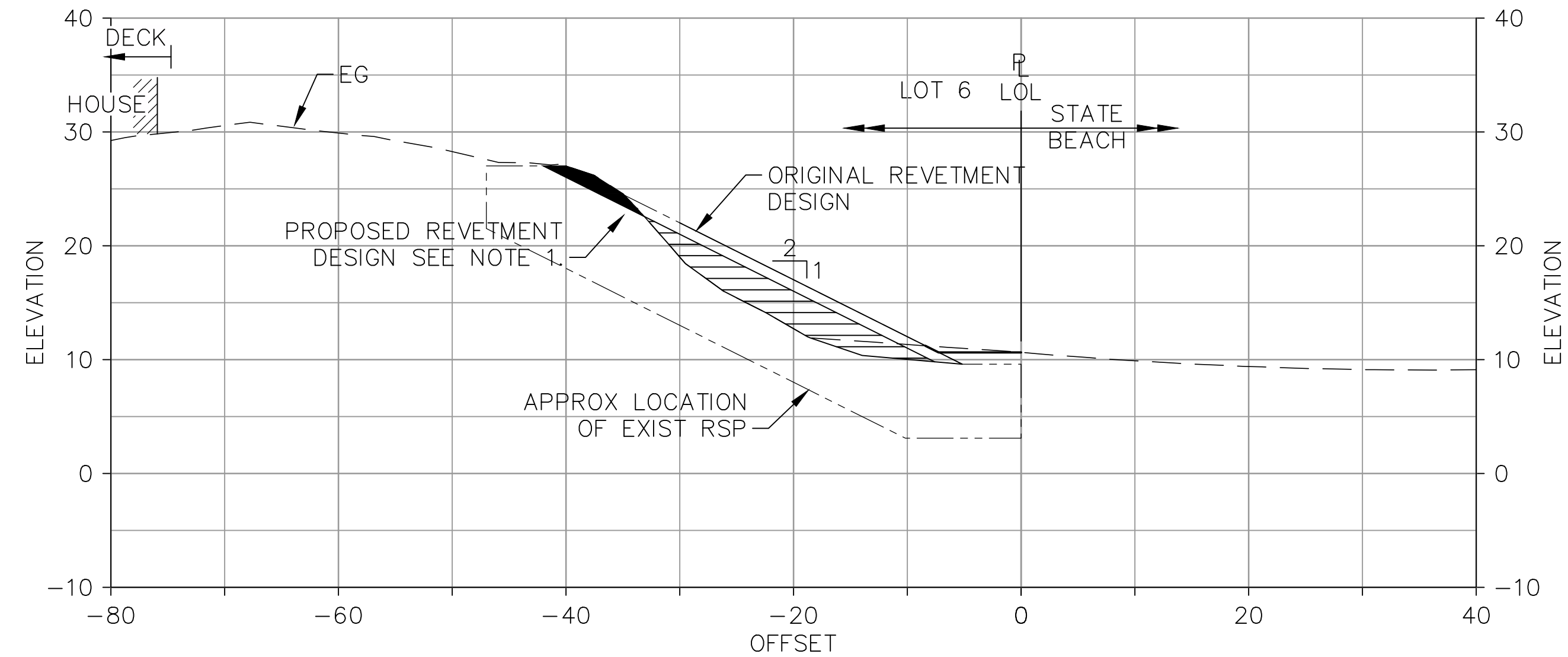
		785 Ygnacio Valley Road Walnut Creek, CA 94596 Phone: (925) 935-9771		<b>PAJARO DUNES GHAD</b> ROCK REVETMENT MAINTENANCE PAJARO DUNES RESORT, WATSONVILLE, CALIFORNIA SECTIONS (2 OF 7)	
		DESIGNED C. HOCKETT	DRAWN K. DROZYNSKA	CHECKED D. PELUSO	PROJECT NO. 190780



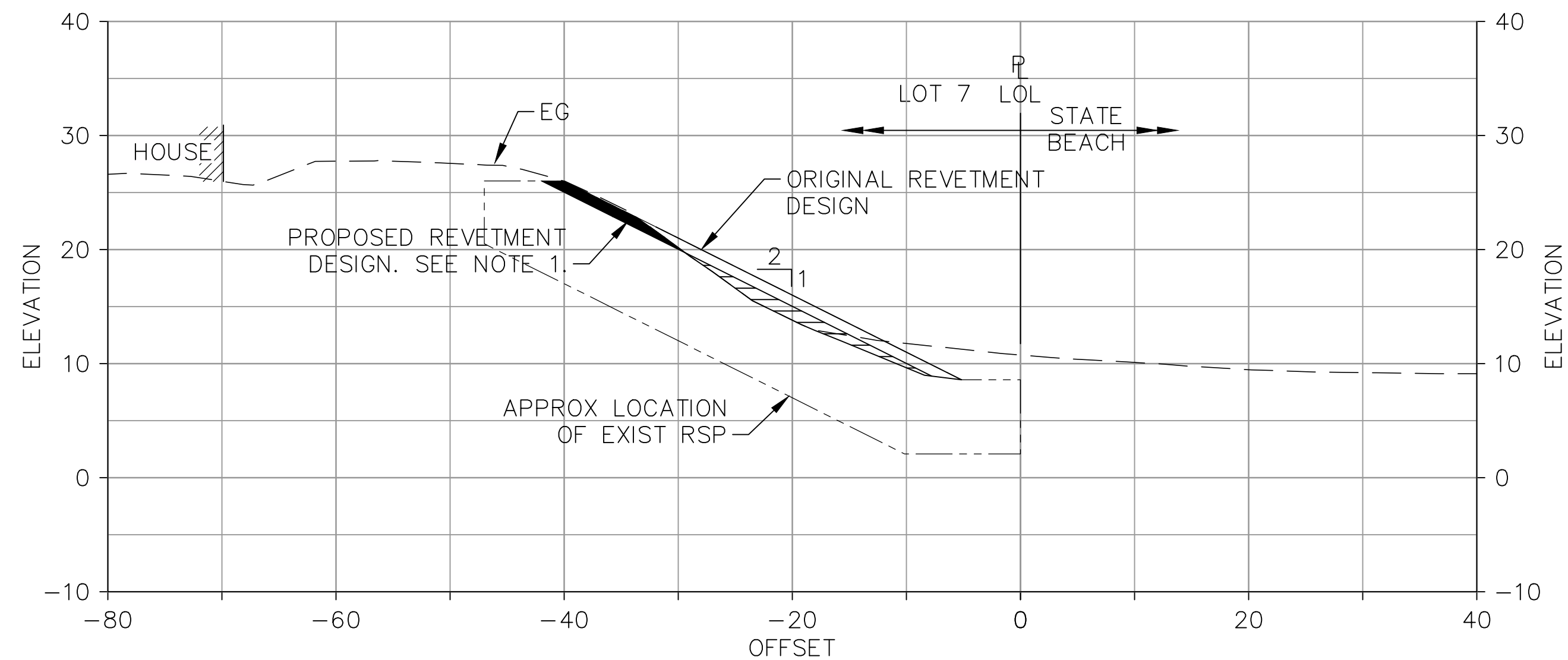
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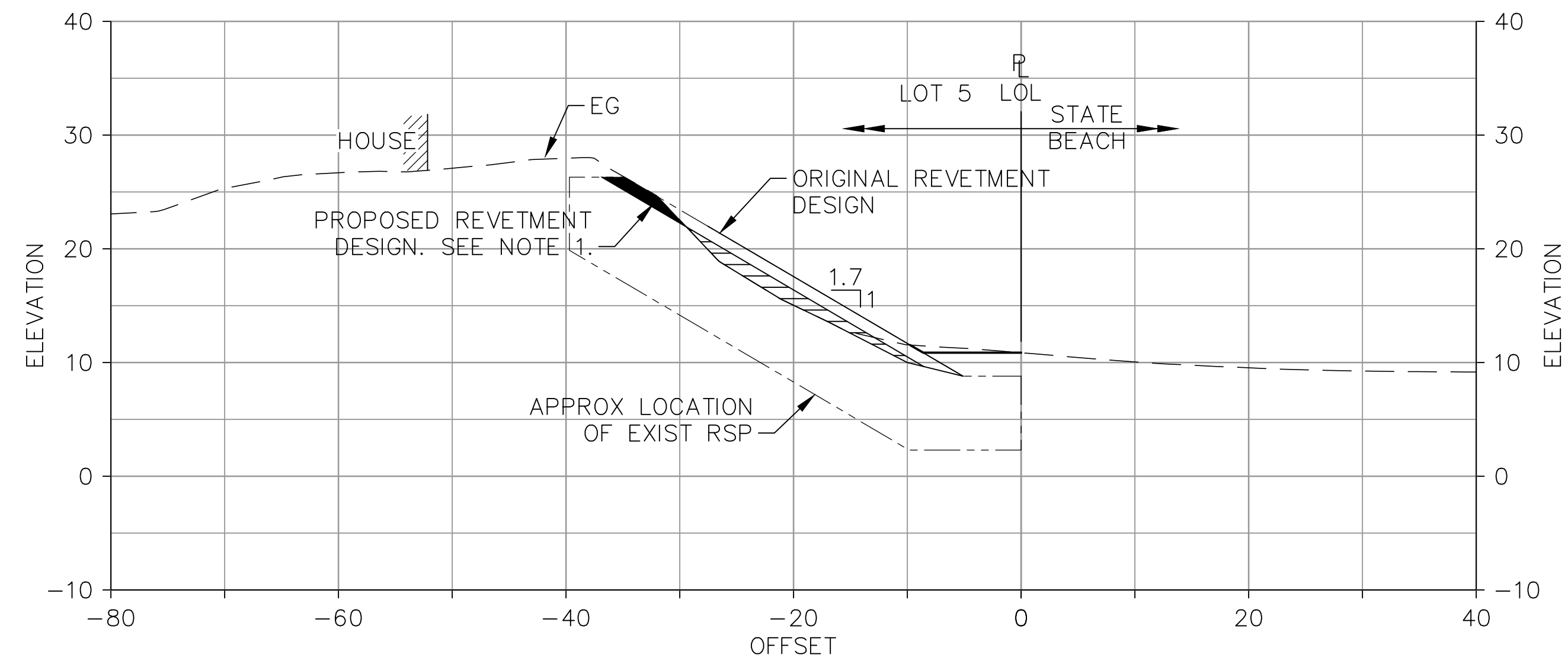
SECTION LOT 8  
6  
STA 4+30



SECTION LOT 6  
7  
STA 5+75



SECTION LOT 7  
6  
STA 5+15



SECTION LOT 5  
7  
STA 6+55

**NOTES**

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- 3RD: PROPERTIES WITH SLOPES THAT ARE 2.0:1 OR STEEPER

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- 1ST: MATERIAL FROM STATE PROPERTY PLACED DURING EMERGENCY REPAIR (2004).
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- 3RD: MATERIAL FROM PROPERTIES WITH 1.7:1 SLOPES
- 4TH: MATERIAL FROM PROPERTIES WITH 1.5:1 SLOPES

ROCK REVETMENT PLACEMENT AND SOURCING			
LOT	SLOPE	PLACEMENT (TONS)	SOURCING (TONS)
8	1.7:1	0	0
7	2.0:1	63	35
6	2.0:1	208	29
5	1.7:1	72	21

**LEGEND**

- AREAS REQUIRING ROCK PLACEMENT
- ROCK AVAILABLE FOR SOURCING



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AUGUST 2023**



**CE&G**  
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785 Ygnacio Valley Road  
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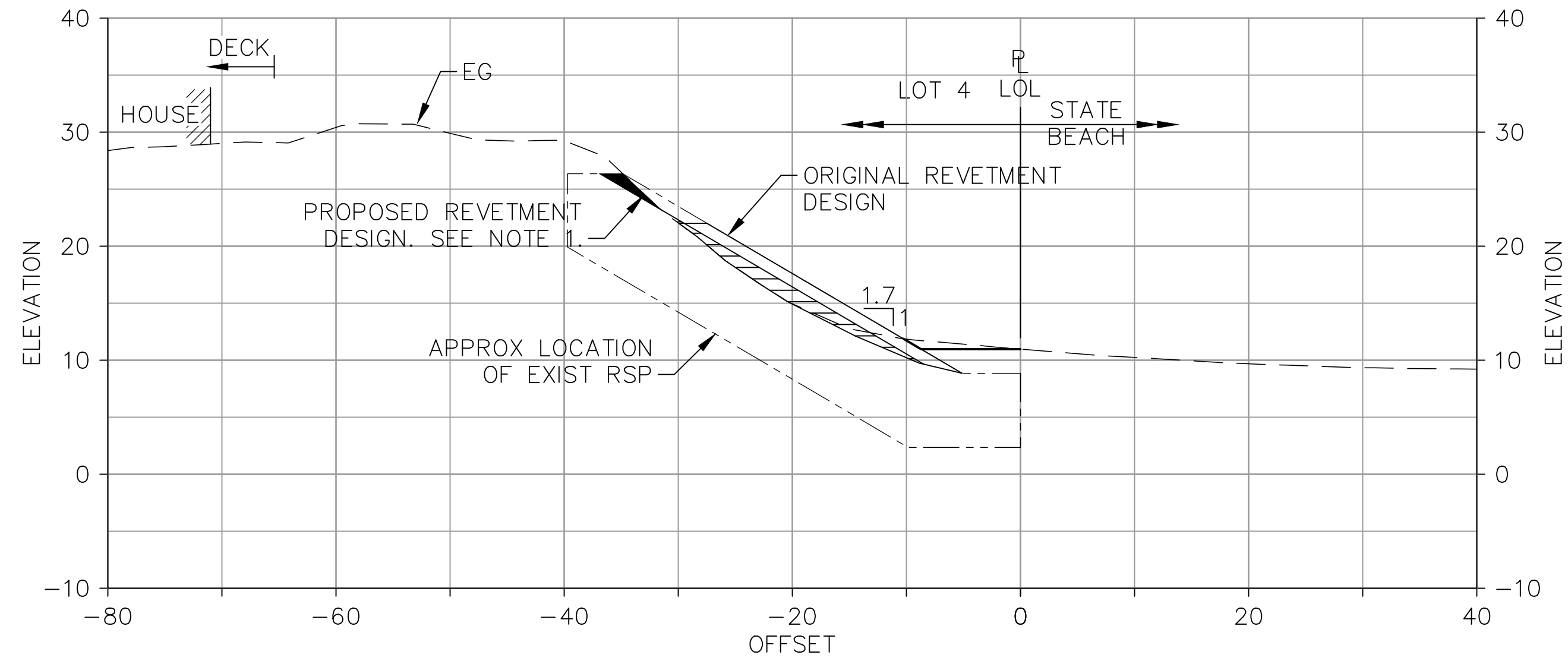
DESIGNED C. HOCKETT	DRAWN K. DROZYNSKA	CHECKED D. PELUSO
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**PAJARO DUNES GHAD**

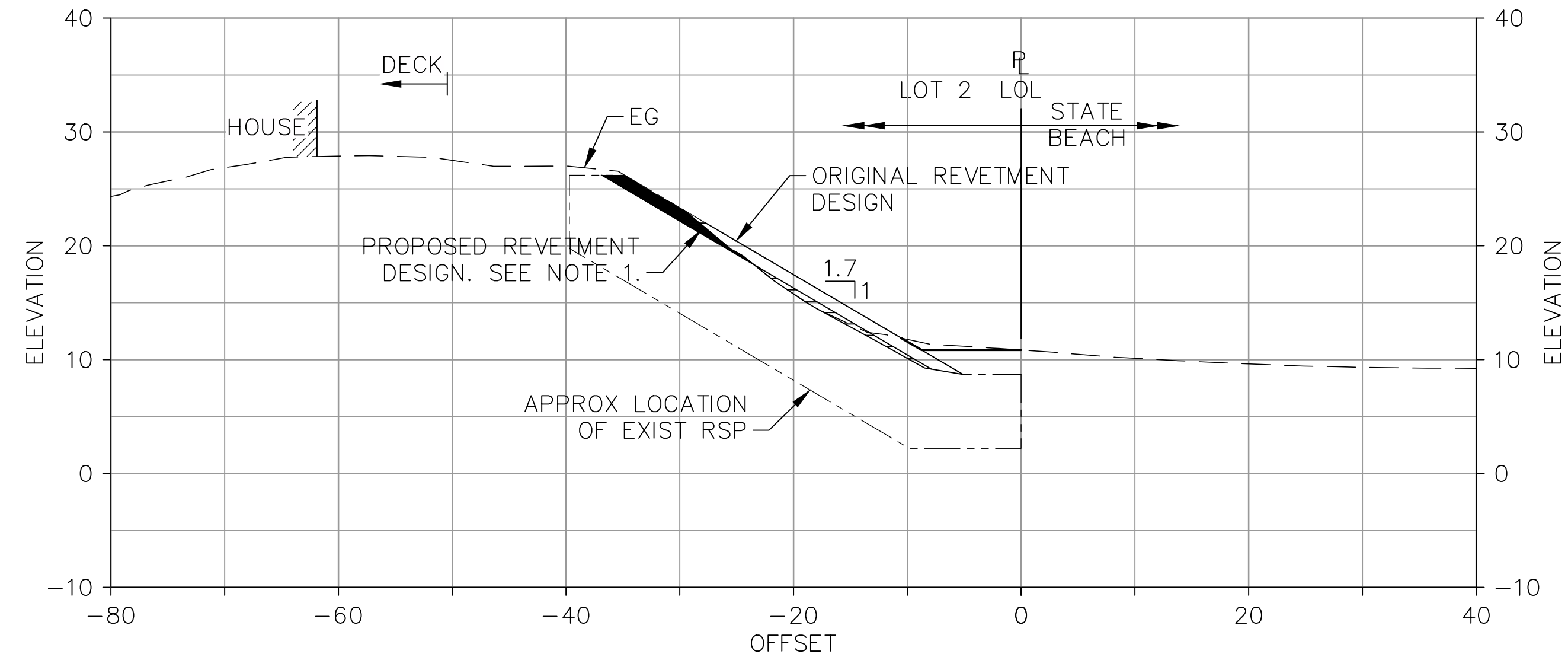
ROCK REVETMENT MAINTENANCE  
PAJARO DUNES RESORT, WATSONVILLE, CALIFORNIA  
SECTIONS (3 OF 7)

PROJECT NO. 190780	DATE AUGUST 29, 2023	SHEET NO. OF 12 OF 16
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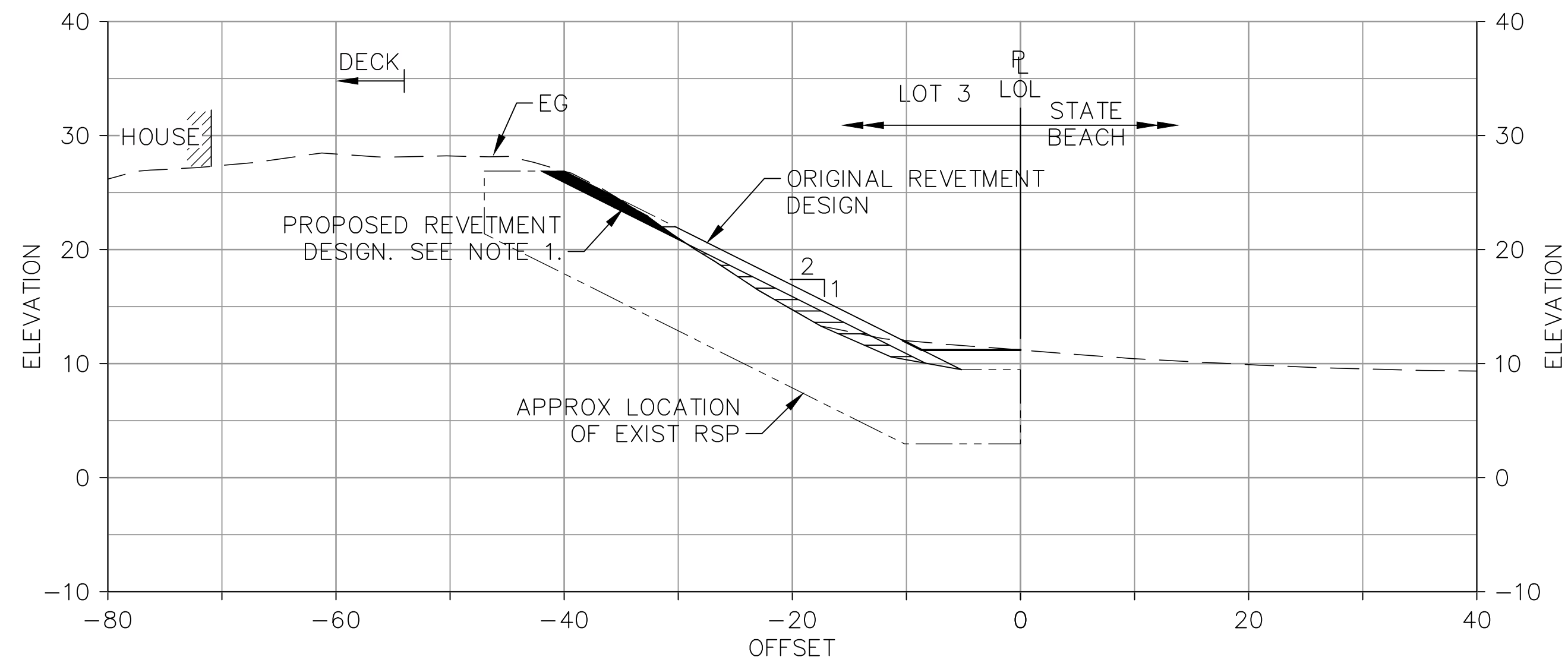
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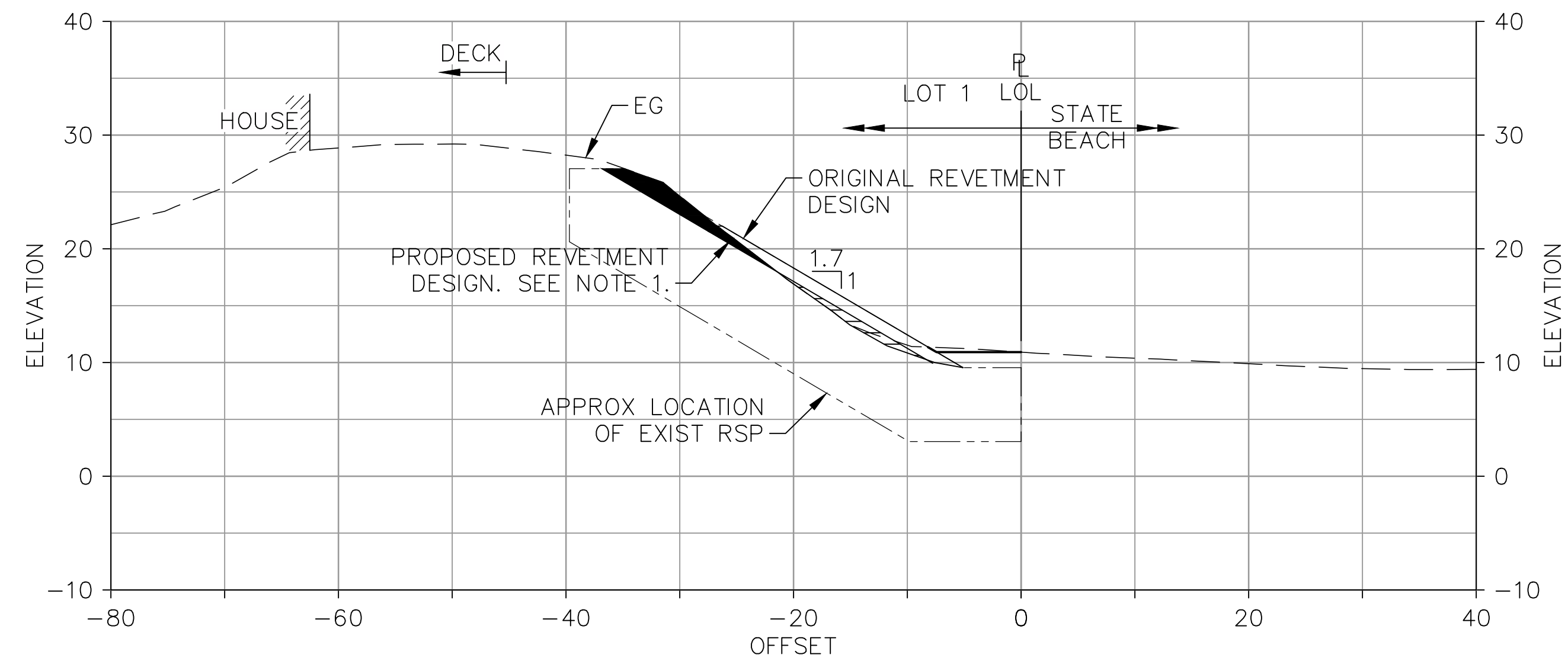
SECTION **LOT 4**  
STA 7+30 **7**



SECTION **LOT 2**  
STA 8+80 **7**



SECTION **LOT 3**  
STA 8+10 **7**



SECTION **LOT 1**  
STA 9+50 **7**

**NOTES**

1. PROPOSED REVETMENT DESIGN SLOPE MAY BE LOWERED UP TO 24" (TYP.) BELOW THE ORIGINAL REVETMENT DESIGN SLOPE (TOWARDS LOTS) FOR SELECTED SECTIONS. CONTRACTOR MAY SOURCE THE MATERIAL REMAINING IN FRONT OF THE PROPOSED REVETMENT SLOPE, IF NEEDED. SEE SOURCING PRIORITY LIST BELOW.
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- 3RD: MATERIAL FROM PROPERTIES WITH 1.7:1 SLOPES
- 4TH: MATERIAL FROM PROPERTIES WITH 1.5:1 SLOPES

ROCK REVETMENT PLACEMENT AND SOURCING			
LOT	SLOPE	PLACEMENT (TONS)	SOURCING (TONS)
4	1.7:1	102	15
3	2.0:1	61	31
2	1.7:1	22	36
1	1.7:1	24	54

**LEGEND**

- AREAS REQUIRING ROCK PLACEMENT
- ROCK AVAILABLE FOR SOURCING



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AUGUST 2023**



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DESIGNED C. HOCKETT	DRAWN K. DROZYNSKA	CHECKED D. PELUSO
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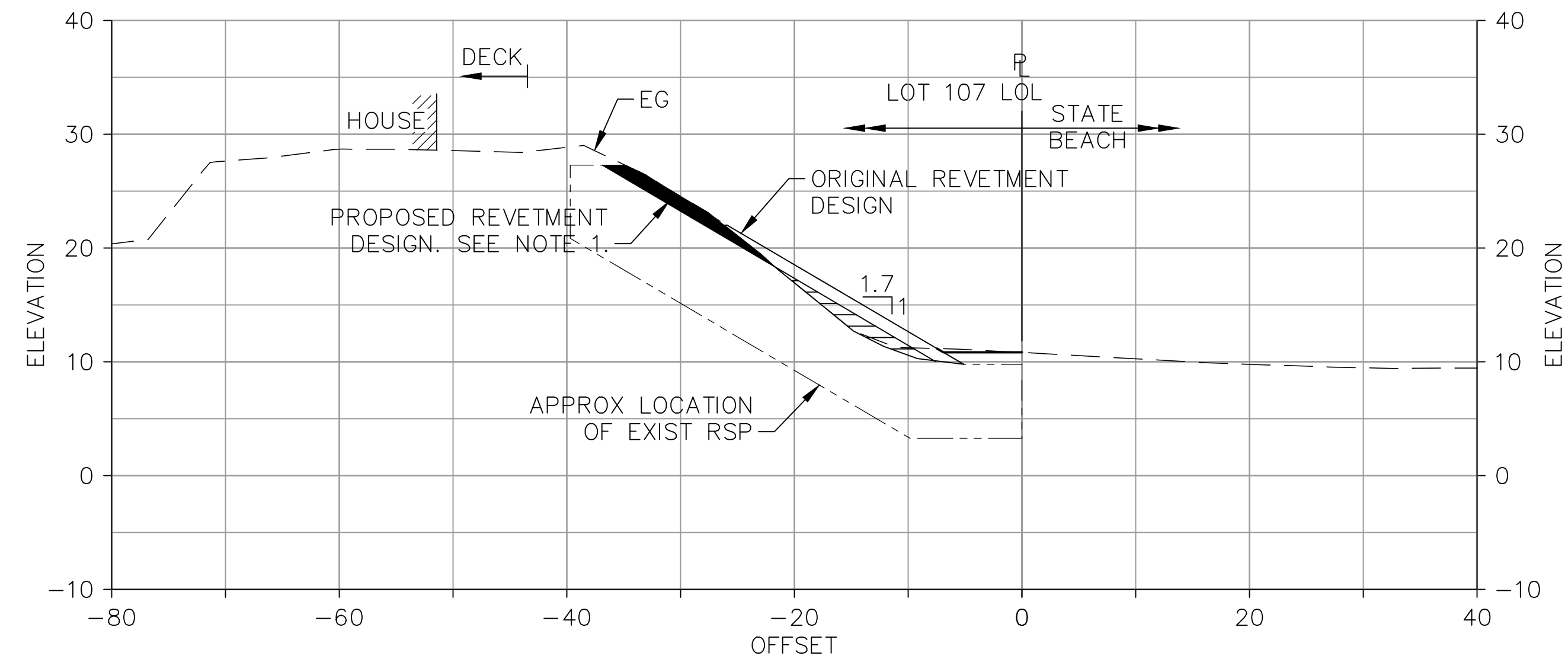
**PAJARO DUNES GHAD**

ROCK REVETMENT MAINTENANCE  
PAJARO DUNES RESORT, WATSONVILLE, CALIFORNIA  
SECTIONS (4 OF 7)

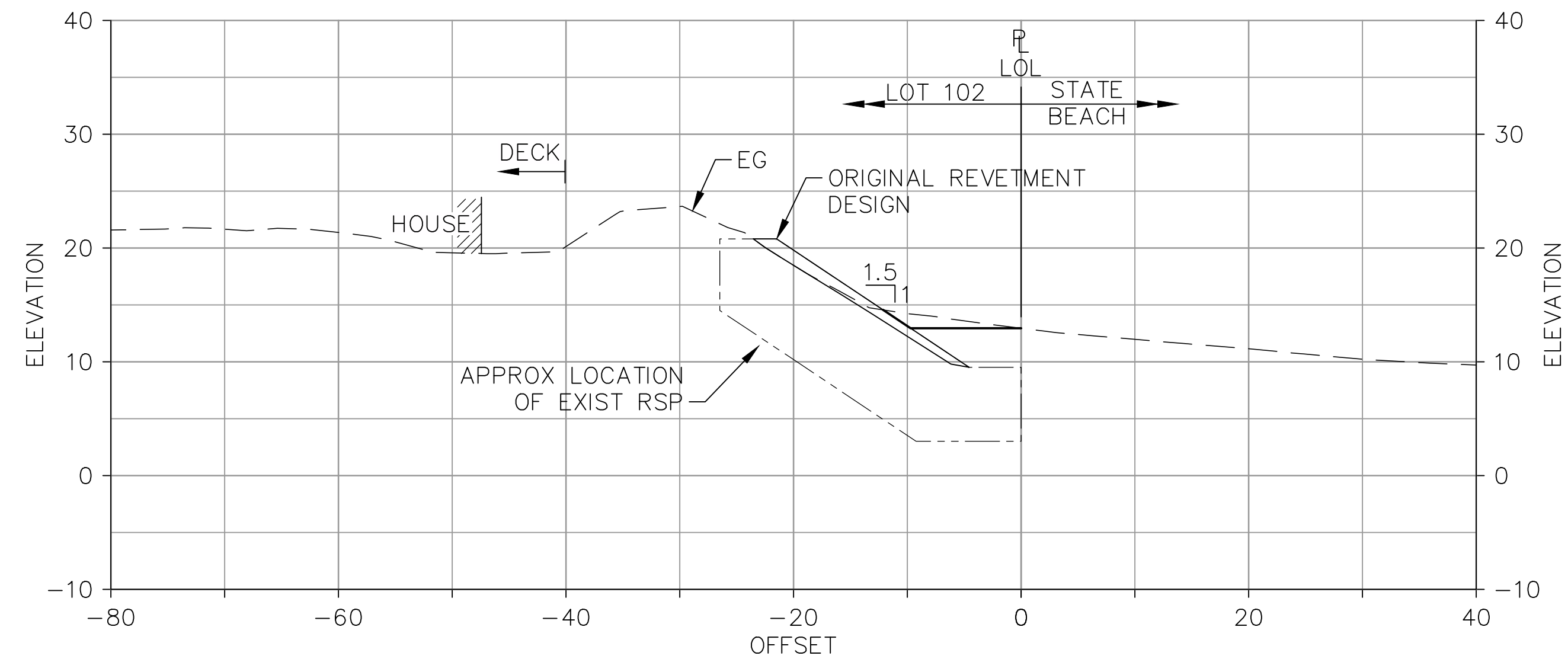
PROJECT NO. 190780	DATE AUGUST 29, 2023	SHEET NO. OF 13 OF 16
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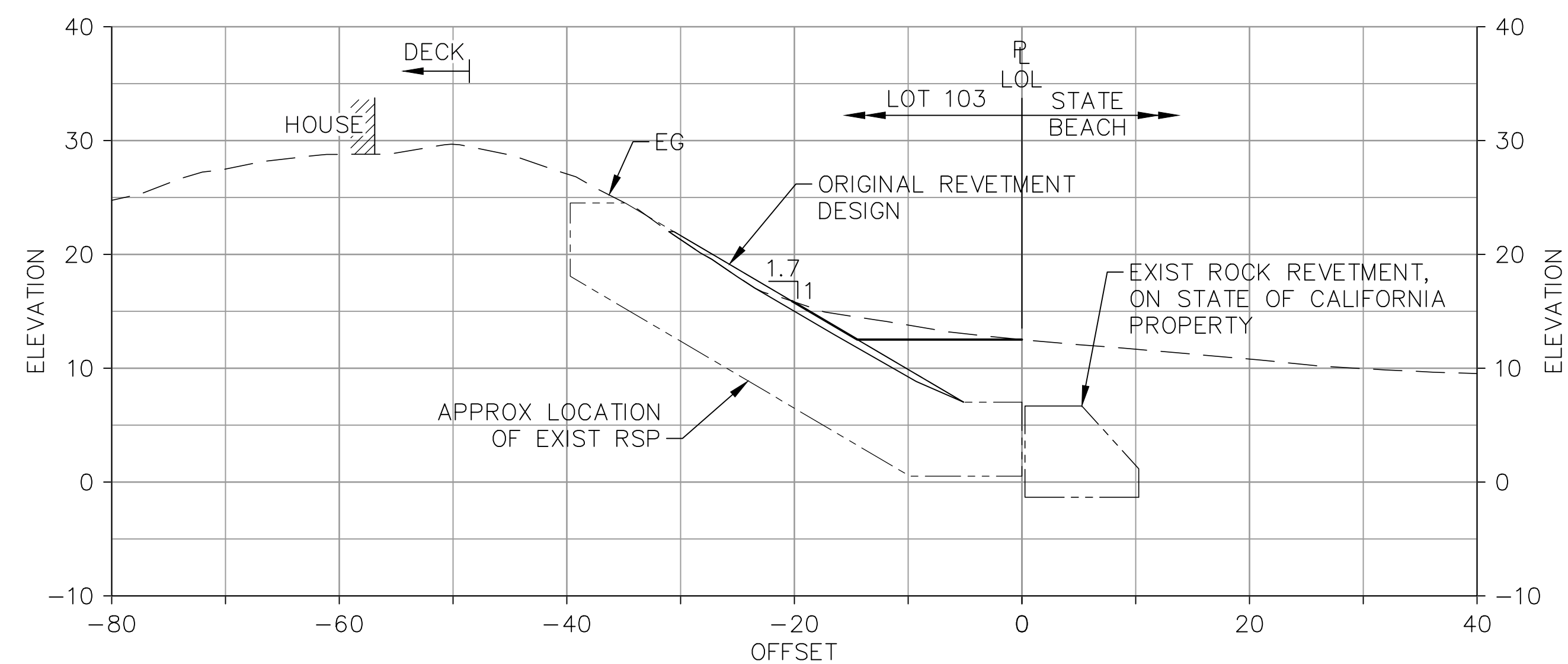
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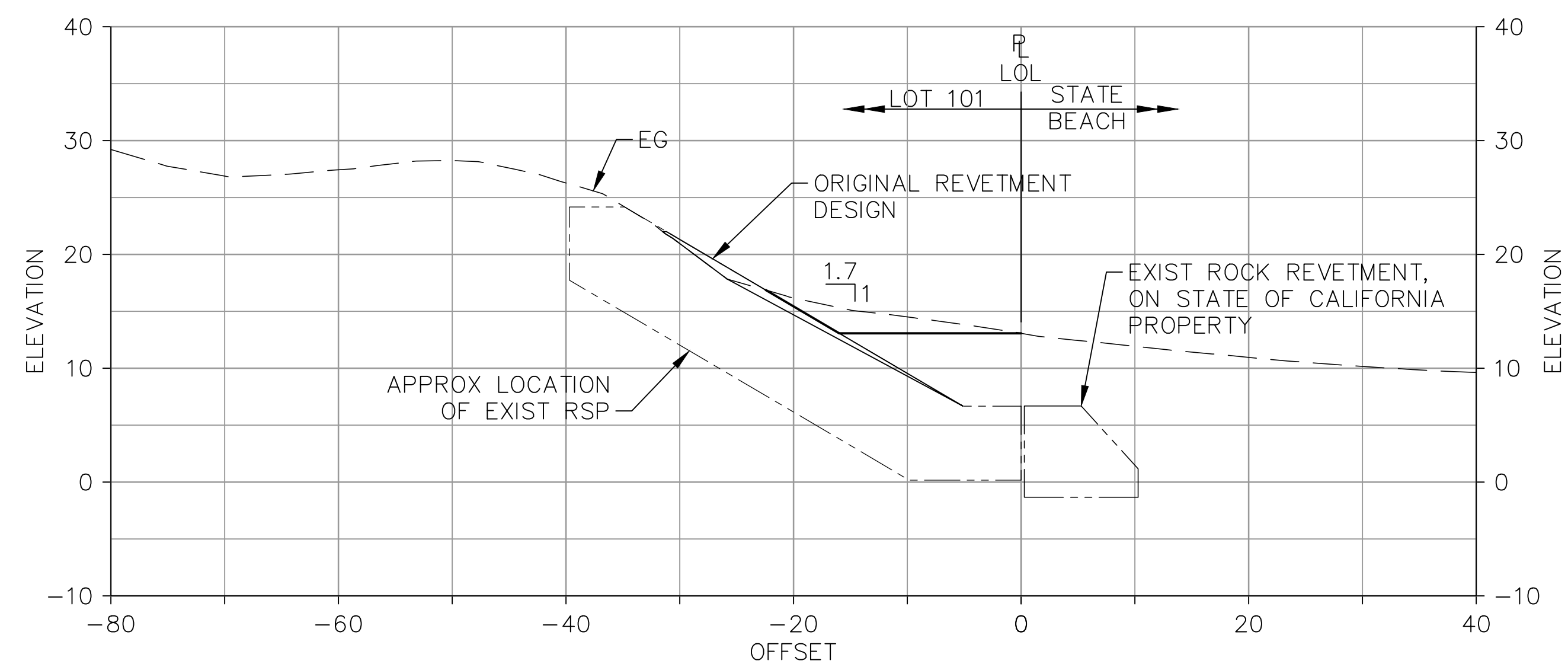
SECTION LOT 107  
STA 10+20 7



SECTION LOT 102  
STA 13+70 8



SECTION LOT 103  
STA 13+00 8



SECTION LOT 101  
STA 14+40 8

**NOTES**

1. PROPOSED REVETMENT DESIGN SLOPE MAY BE LOWERED UP TO 24" (TYP.) BELOW THE ORIGINAL REVETMENT DESIGN SLOPE (TOWARDS LOTS) FOR SELECTED SECTIONS. CONTRACTOR MAY SOURCE THE MATERIAL REMAINING IN FRONT OF THE PROPOSED REVETMENT SLOPE, IF NEEDED. SEE SOURCING PRIORITY LIST BELOW.
2. THERE WILL BE VARIABILITY IN CROSS SECTIONS ACROSS EACH LOT

**PLACEMENT PRIORITY**

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- 3RD: PROPERTIES WITH SLOPES THAT ARE 2.0:1 OR STEEPER

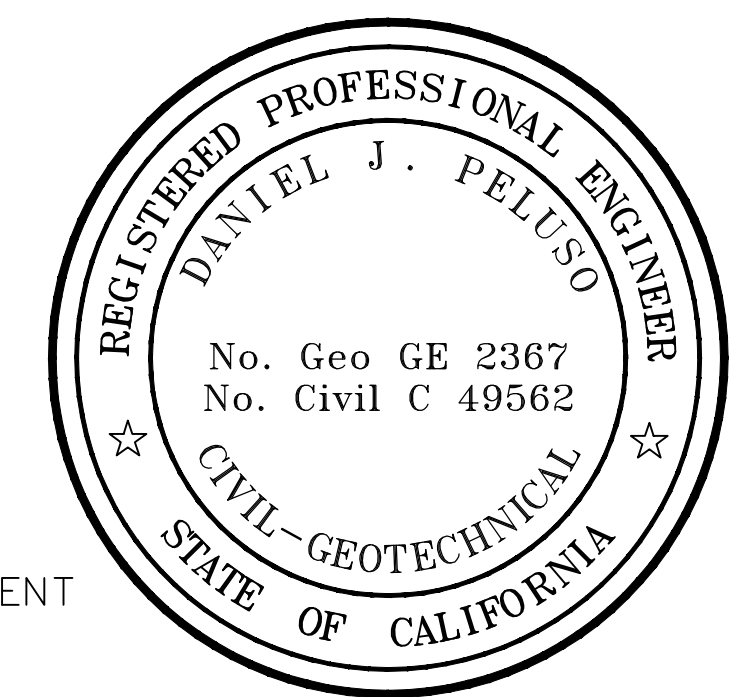
**SOURCING PRIORITY**

- 1ST: MATERIAL FROM STATE PROPERTY PLACED DURING EMERGENCY REPAIR (2004).
- 2ND: MATERIAL FROM PROPERTIES WITH 2.0:1 SLOPES
- 3RD: MATERIAL FROM PROPERTIES WITH 1.7:1 SLOPES
- 4TH: MATERIAL FROM PROPERTIES WITH 1.5:1 SLOPES

ROCK REVETMENT PLACEMENT AND SOURCING			
LOT	SLOPE	PLACEMENT (TONS)	SOURCING (TONS)
107	1.7:1	42	49
103	1.7:1	0	0
102	1.5:1	0	0
101	1.7:1	0	0

**LEGEND**

- AREAS REQUIRING ROCK PLACEMENT
- ROCK AVAILABLE FOR SOURCING



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AUGUST 2023**



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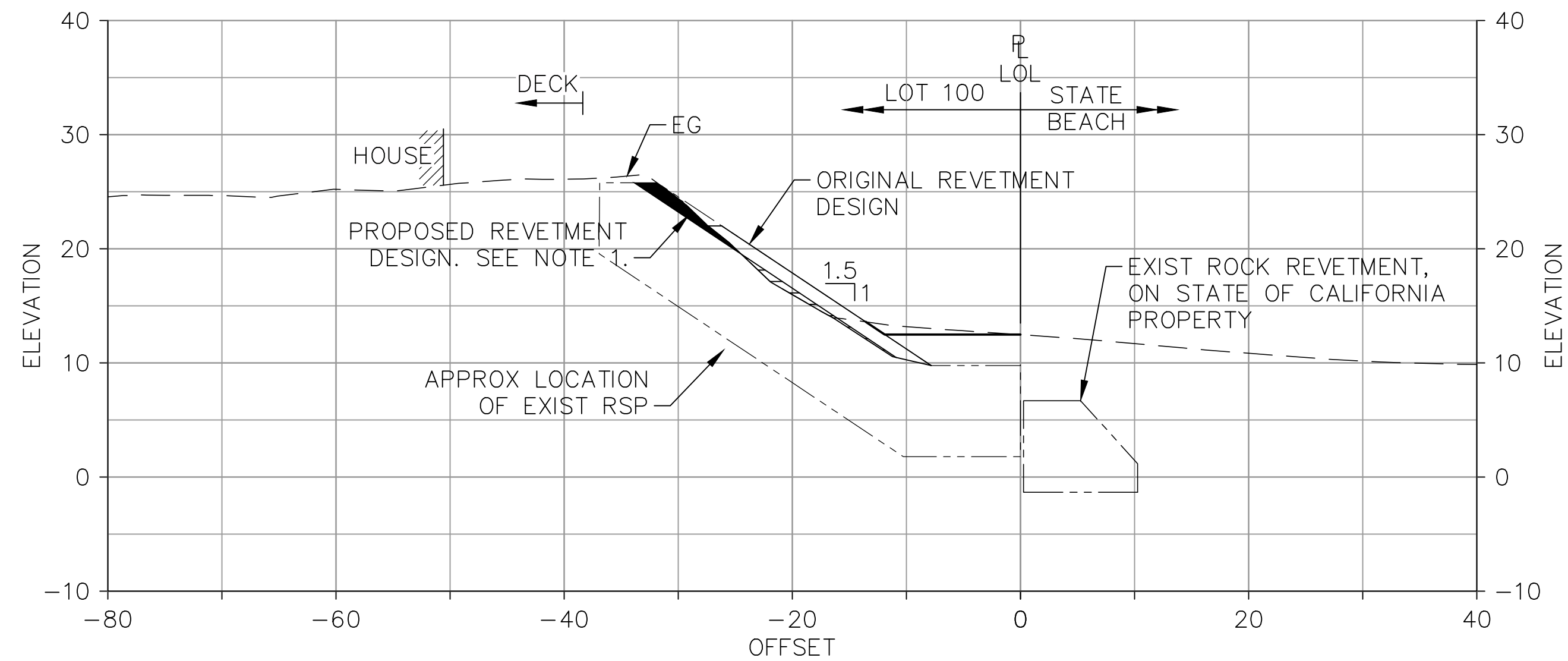
DESIGNED C. HOCKETT	DRAWN K. DROZYNSKA	CHECKED D. PELUSO
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**PAJARO DUNES GHAD**

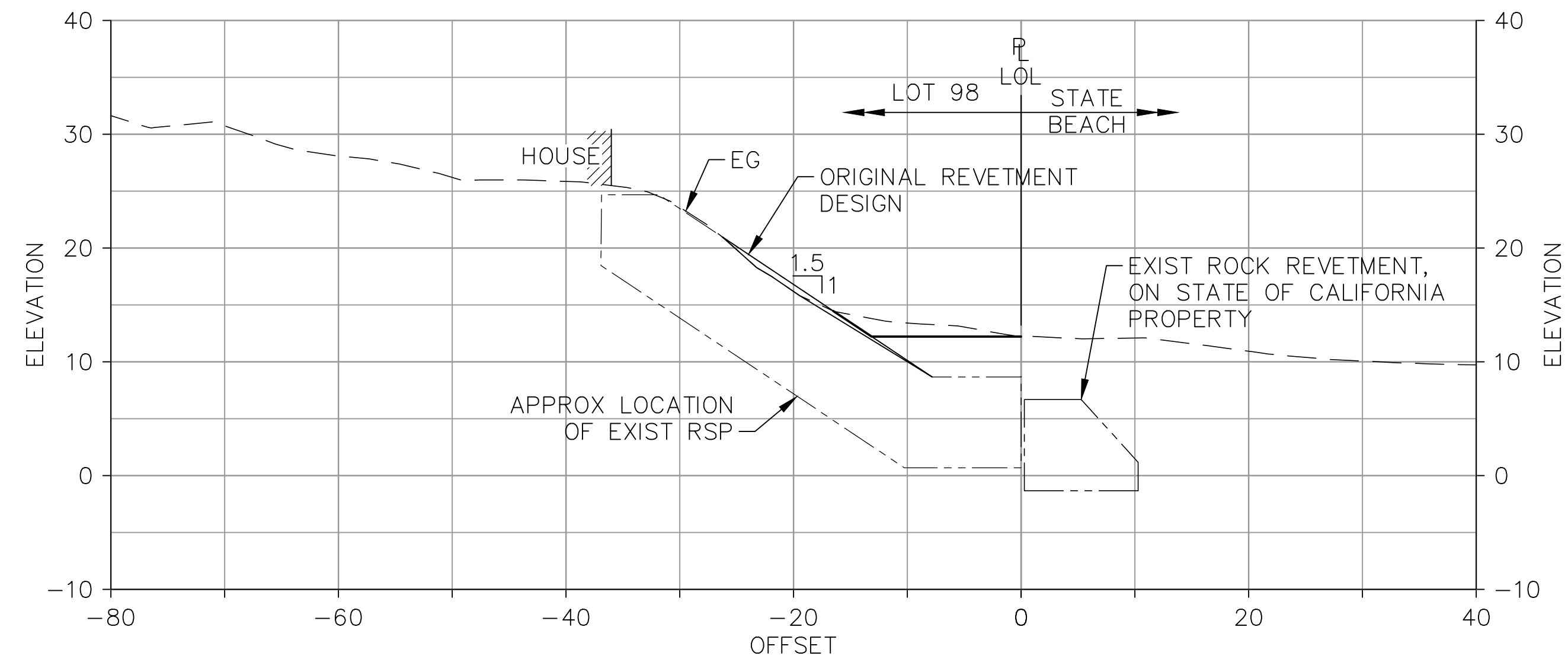
ROCK REVETMENT MAINTENANCE  
PAJARO DUNES RESORT, WATSONVILLE, CALIFORNIA  
SECTIONS (5 OF 7)

PROJECT NO. 190780	DATE AUGUST 29, 2023	SHEET NO. OF 14 OF 16
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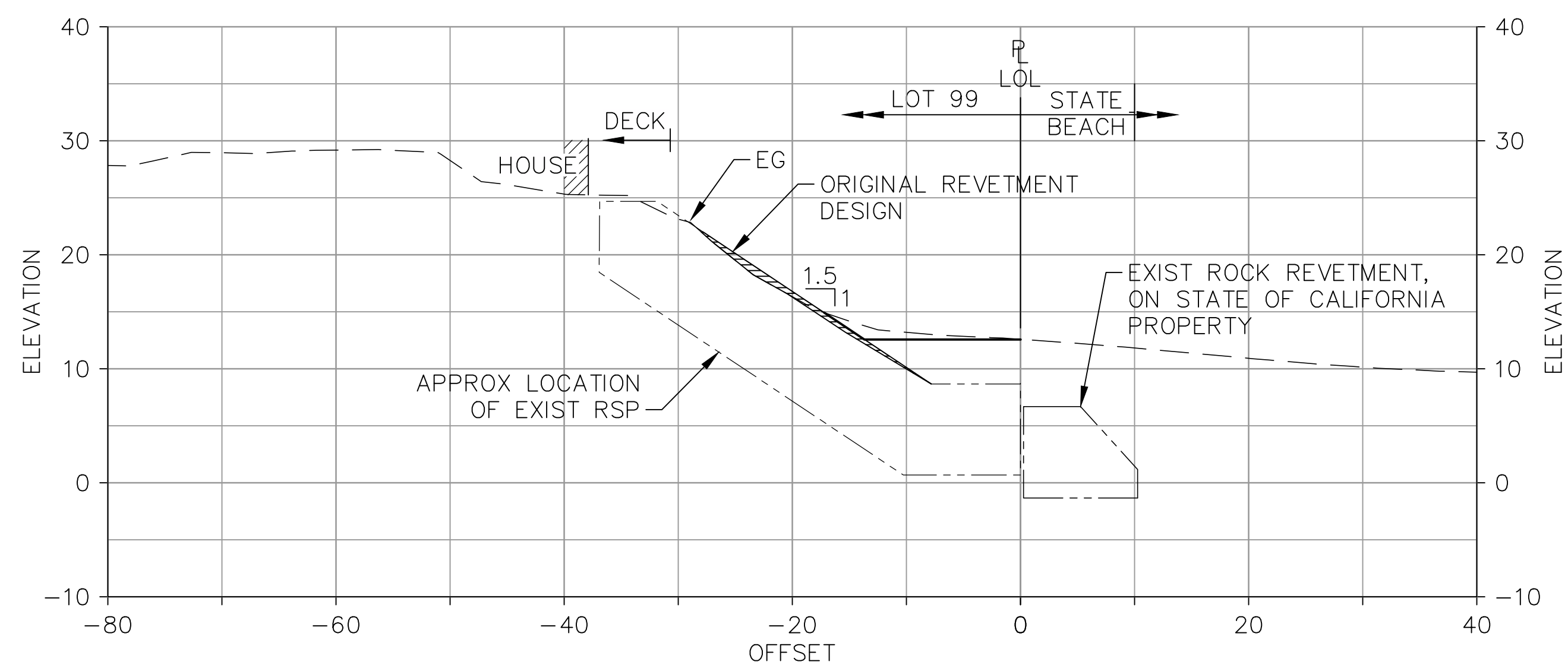
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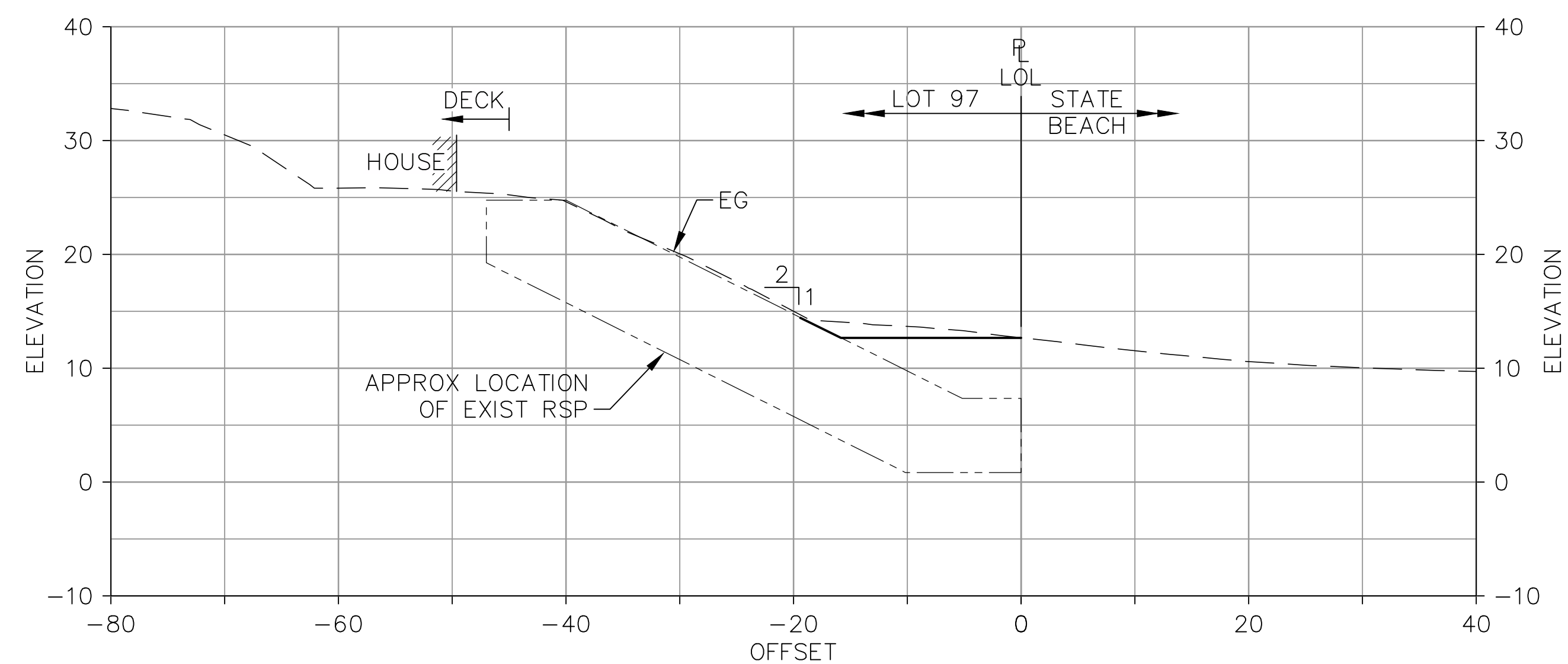
SECTION LOT 100  
STA 15+10 8



SECTION LOT 98  
STA 16+45 9



SECTION LOT 99  
STA 15+80 9



SECTION LOT 97  
STA 17+15 9

**NOTES**

1. PROPOSED REVETMENT DESIGN SLOPE MAY BE LOWERED UP TO 24" (TYP.) BELOW THE ORIGINAL REVETMENT DESIGN SLOPE (TOWARDS LOTS) FOR SELECTED SECTIONS. CONTRACTOR MAY SOURCE THE MATERIAL REMAINING IN FRONT OF THE PROPOSED REVETMENT SLOPE, IF NEEDED. SEE SOURCING PRIORITY LIST BELOW.
2. THERE WILL BE VARIABILITY IN CROSS SECTIONS ACROSS EACH LOT

**PLACEMENT PRIORITY**

- 1ST: PROPERTIES WITH SLOPES THAT ARE 1.5:1 OR STEEPER
- 2ND: PROPERTIES WITH SLOPES THAT ARE 1.7:1 OR STEEPER
- 3RD: PROPERTIES WITH SLOPES THAT ARE 2.0:1 OR STEEPER

**SOURCING PRIORITY**

- 1ST: MATERIAL FROM STATE PROPERTY PLACED DURING EMERGENCY REPAIR (2004).
- 2ND: MATERIAL FROM PROPERTIES WITH 2.0:1 SLOPES
- 3RD: MATERIAL FROM PROPERTIES WITH 1.7:1 SLOPES
- 4TH: MATERIAL FROM PROPERTIES WITH 1.5:1 SLOPES

ROCK REVETMENT PLACEMENT AND SOURCING			
LOT	SLOPE	PLACEMENT (TONS)	SOURCING (TONS)
100	1.5:1	16	24
99	1.5:1	30	0
98	1.5:1	0	0
97	2.0:1	0	0

**LEGEND**

- AREAS REQUIRING ROCK PLACEMENT
- ROCK AVAILABLE FOR SOURCING



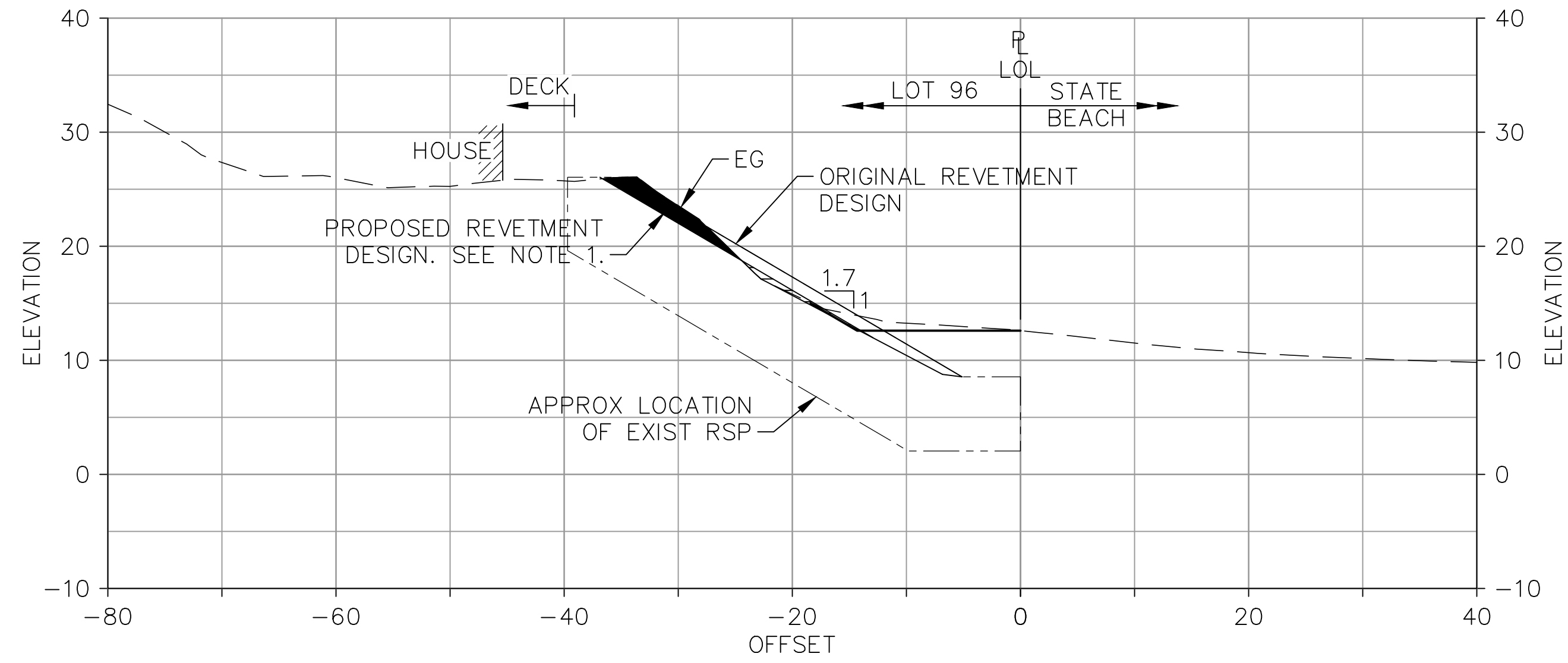
**100% SUBMITTAL  
NOT FOR CONSTRUCTION  
AUGUST 2023**



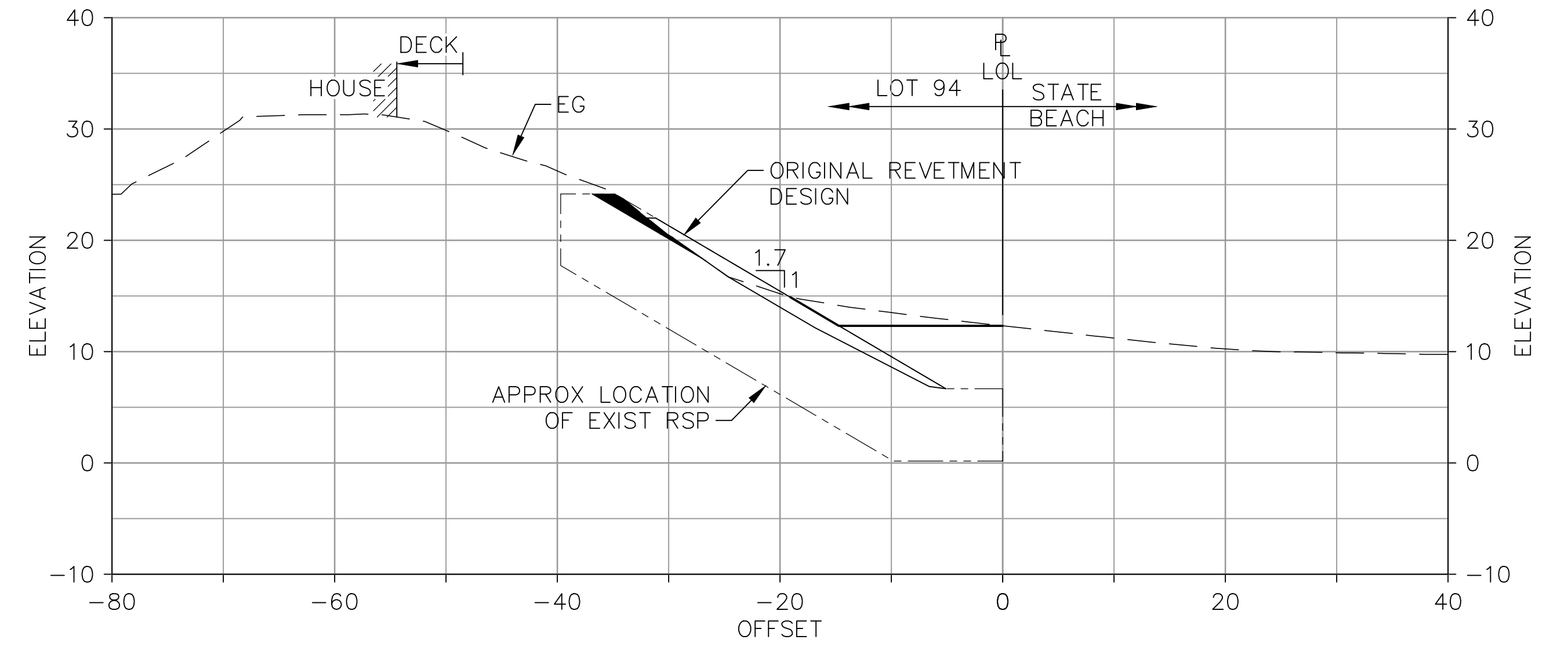
<b>CE&amp;G</b> A division of Haley & Aldrich		785 Ygnacio Valley Road Walnut Creek, CA 94596 Phone: (925) 935-9771		<b>PAJARO DUNES GHAD</b>	
				ROCK REVETMENT MAINTENANCE PAJARO DUNES RESORT, WATSONVILLE, CALIFORNIA SECTIONS (6 OF 7)	
DESIGNED C. HOCKETT	DRAWN K. DROZYNSKA	CHECKED D. PELUSO	PROJECT NO. 190780	DATE AUGUST 29, 2023	SHEET NO. OF 15 OF 16



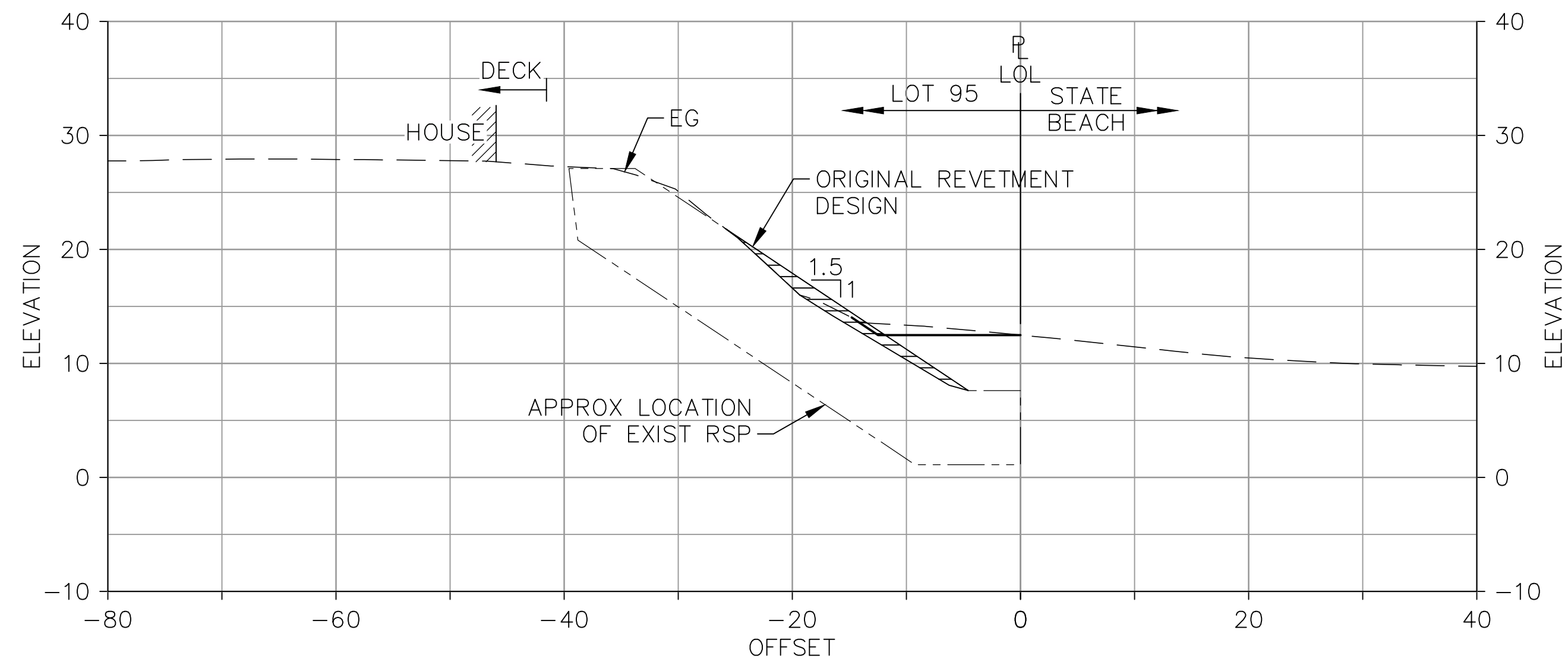
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SECTION LOT 96  
STA 17+80 9



SECTION LOT 94  
STA 19+25 9



SECTION LOT 95  
STA 18+50 9

**NOTES**

1. PROPOSED REVETMENT DESIGN SLOPE MAY BE LOWERED UP TO 24" (TYP.) BELOW THE ORIGINAL REVETMENT DESIGN SLOPE (TOWARDS LOTS) FOR SELECTED SECTIONS. CONTRACTOR MAY SOURCE THE MATERIAL REMAINING IN FRONT OF THE PROPOSED REVETMENT SLOPE, IF NEEDED. SEE SOURCING PRIORITY LIST BELOW.
2. THERE WILL BE VARIABILITY IN CROSS SECTIONS ACROSS EACH LOT

**PLACEMENT PRIORITY**

- 1ST: PROPERTIES WITH SLOPES THAT ARE 1.5:1 OR STEEPER
- 2ND: PROPERTIES WITH SLOPES THAT ARE 1.7:1 OR STEEPER
- 3RD: PROPERTIES WITH SLOPES THAT ARE 2.0:1 OR STEEPER

**SOURCING PRIORITY**

- 1ST: MATERIAL FROM STATE PROPERTY PLACED DURING EMERGENCY REPAIR (2004).
- 2ND: MATERIAL FROM PROPERTIES WITH 2.0:1 SLOPES
- 3RD: MATERIAL FROM PROPERTIES WITH 1.7:1 SLOPES
- 4TH: MATERIAL FROM PROPERTIES WITH 1.5:1 SLOPES

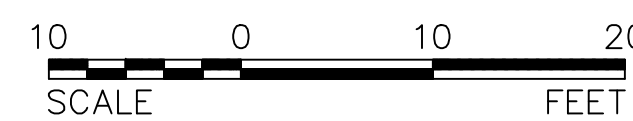
ROCK REVETMENT PLACEMENT AND SOURCING			
LOT	SLOPE	PLACEMENT (TONS)	SOURCING (TONS)
96	1.7:1	12	51
95	1.5:1	67	0
94	1.7:1	0	22

**LEGEND**

- AREAS REQUIRING ROCK PLACEMENT
- ROCK AVAILABLE FOR SOURCING



**100% SUBMITTAL  
NOT FOR CONSTRUCTION  
AUGUST 2023**



 A division of Haley & Aldrich		785 Ygnacio Valley Road Walnut Creek, CA 94596 Phone: (925) 935-9771		<b>PAJARO DUNES GHAD</b> ROCK REVETMENT MAINTENANCE PAJARO DUNES RESORT, WATSONVILLE, CALIFORNIA SECTIONS (7 OF 7)	
		DESIGNED C. HOCKETT	DRAWN K. DROZYNSKA	CHECKED D. PELUSO	PROJECT NO. 190780